

SHEET 1	~	NEIGHBORHOOD PLAN
SHEET 2	~	EXISTING CONDITIONS OVERVIEW
SHEET 3	~	EXISTING CONDITIONS DETAIL PLAN
SHEET 4	~	SUBDIVISION OVERVIEW*
SHEET 5	~	SUBDIVISION TOPO OVERVIEW
SHEET 6	~	SUBDIVISION DETAIL PLAN*
SHEET 7	~	SUBDIVISION TOPO PLAN
SHEET 8	~	GRADING & DRAINAGE PLAN OVERVIEW
SHEET 9	~	GRADING & DRAINAGE PLAN 0+00 - 3+00
SHEET 10	~	GRADING & DRAINAGE PLAN 3+00 - END
SHEET 11	~	GRADING & DRAINAGE PLAN SHARED DRIVEWAY
SHEET 12	~	P-101 RAIN GARDEN #101
SHEET 13	~	P-102 RAIN GARDEN #102
SHEET 14	~	EROSION & SEDIMENT CONTROL PLAN
SHEET 15	~	CROSS SECTIONS PRIVATE DRIVE 0+00 - END
SHEET 16	~	SIGHT DISTANCE LOVELY LANE EAST
SHEET 17	~	SIGHT DISTANCE LOVELY LANE WEST
SHEET 18	~	E101-EROSION & SEDIMENT CONTROL DETAILS
SHEET 19	~	E102-EROSION & SEDIMENT CONTROL DETAILS
SHEET 20	~	C101-CONSTRUCTION DETAILS
SHEET 21	~	C102-CONSTRUCTION DETAILS
SHEET 22	~	FIRE TRUCK TURNING ENTRANCE
SHEET 23	~	FIRE TRUCK TURNING HAMMERHEAD

OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, NH 03884

APPLICANT: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, NH 03884

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST:

DRAKE HILL ROAD

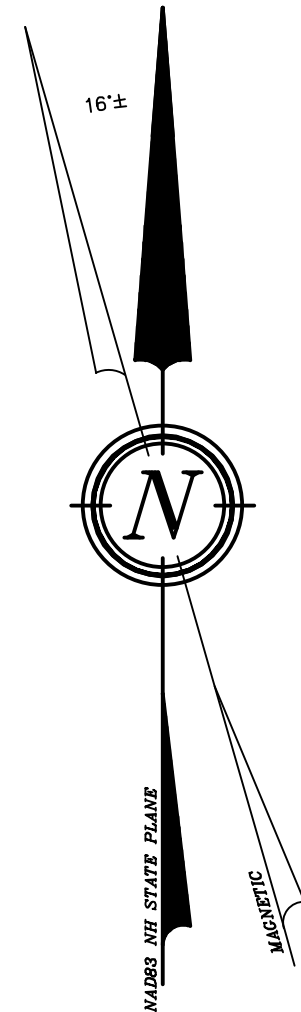
BACK ROAD

CANAAN ROAD

APPROX. LOCATION

STRAFFORD BARRINGTON

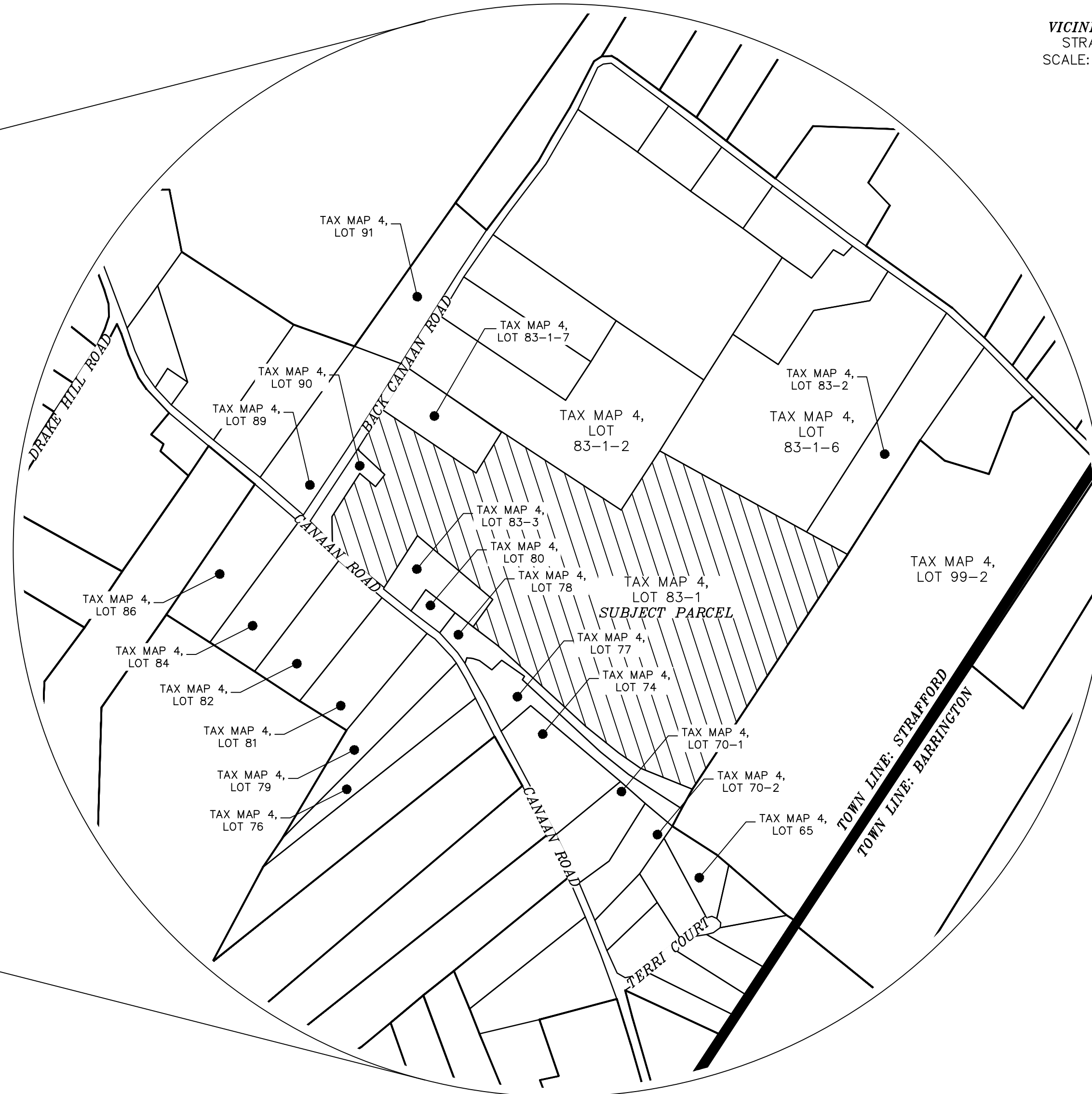
TERRI COURT



NOTE:

ALL USERS ARE BOUND TO THESE DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE TOWN OF STRAFFORD PLANNING DEPARTMENT.

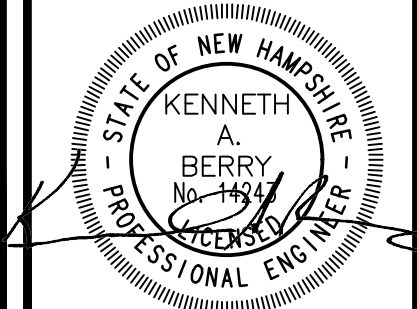
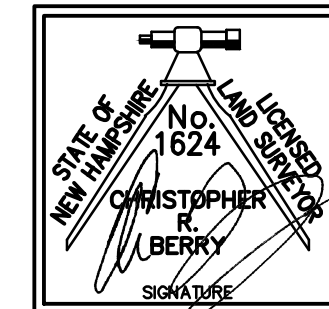
SCALE: 1" = 400' ±



- ~ US EPA NOI & SWPPP (PENDING)
- ~ NH DIVISION OF HISTORICAL RESOURCES (PENDING)
- ~ NATURAL HERITAGE BUREAU (PENDING)
- ~ NHDES SUBDIVISION (PENDING)

- 1.) 11x17" PLANS ARE TWICE THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE TOWN OF STRAFFORD.

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE TOWN OF STRAFFORD LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON – ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.



#1	12-04-25	DESIGN REVISION
REVISION	DATE	DESCRIPTION

CONSERVATION SUBDIVISION
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024

ABBREVIATION LEGEND:

E.O.P.	EDGE OF PAVEMENT
BITUM.	BITUMINOUS
E.S.H.W.T	ESTIMATED SEASONAL HIGH WATER TABLE
TYP	TYPICAL
U.G.E	UNDER GROUND ELECTRIC / UTILITIES
O.H.U.	OVERHEAD ELECTRIC / UTILITIES
U.D.	UNDER DRAIN
C.O.	CLEAN OUT
INV.	INVERT
ELEV.	ELEVATION
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
RECB	ROLLED EROSION CONTROL BLANKET
F.G.	FINISHED GRADE
E.G.	EXISTING GRADE
T.B.R.	TO BE REMOVED
PL	PROPERTY LINE
EL	EASEMENT LINE
CL	CENTER LINE
CF	CUBIC FEET
P.C.	POINT OF CURVATURE
P.T.	POINT OF TANGENCY
P.V.C.	POINT OF VERTICAL CURVE
P.V.I.	POINT OF VERTICAL INTERSECTION
P.V.T.	POINT OF VERTICAL TANGENCY
EX.	EXISTING
PROP.	PROPOSED
STA.	STATION
SCM	STORMWATER CONTROL MEASURE
'/.	FEET / FEET
TP	TEST PIT
FND	FOUND
TBS	TO BE SET

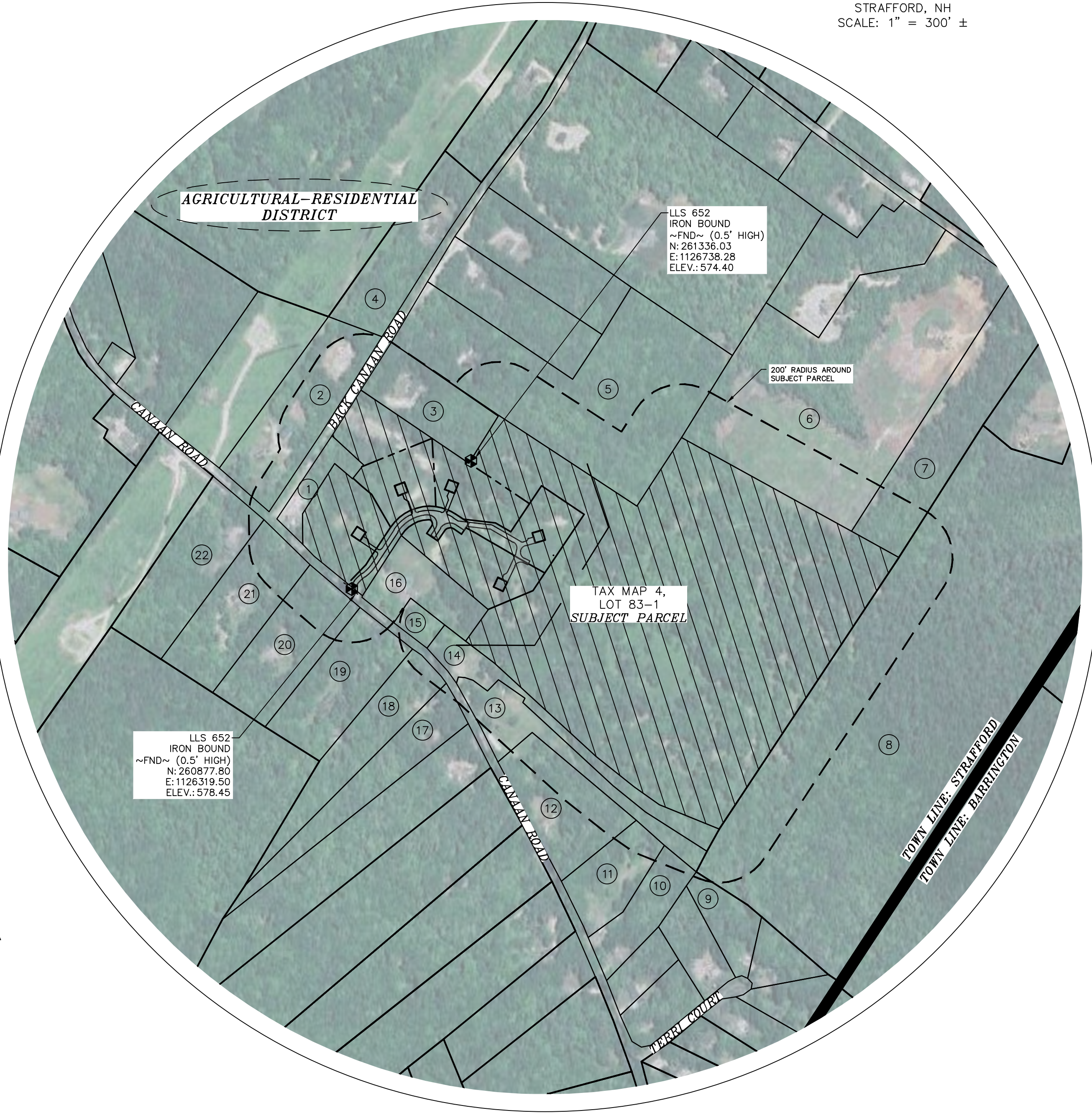
PROPOSED LEGEND:

	4"x4" GRANITE BOUND ~TBS~
	3/4" REBAR W/ ID CAP ~TBS~
	1/2" EASEMENT REBAR W/ ID CAP ~TBS~
	PROPOSED SUBDIVISION LINE
	PROPOSED EASEMENT LINE
	STORMWATER BMP OUTLET STRUCTURE
	DROP INLET W/ STRUCTURE
	FLOW ARROW
	DETAIL SHEET / DETAIL
	MATCH POINT
	MATCH LINE
	CONTOUR MINOR, PROPOSED
	CONTOUR MAJOR, PROPOSED
	DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
	SHOULDER
	CENTER LINE
	BUILDING SETBACK LINE
	UNDERGROUND UTILITIES / TRANSFORMER
	RIP RAP
	STORMWATER BEST MANAGEMENT PRACTICE (BMP)
	BERM
	PROPOSED PAVEMENT/GRAVEL SURFACE
	CONDITIONAL USE PERMIT AREA
	4K LEACHING AREA
	SILT FENCE / EROSION MIX BERM
	FILTREXX 8" - 12" SILT SOXX AS SPECIFIED
	ORANGE CONSTRUCTION PERIMETER FENCE
	PERIMETER CONTROL
	LIMIT OF PROJECT DISTURBANCE
	STORMWATER BMP PROTECTION
	PERIMETER CONTROL
	ROADWAY CONSTRUCTION

EXISTING LEGEND:

	IRON BOUND/IRON ROD (FND)
	IRON PIPE (FND)
	DRILL HOLE (FND)
	STEEL STAKE (FND)
	UTILITY POLE / GUY WIRE
	SINGLE POST SIGN
	EXISTING WELL
	TEMPORARY BENCHMARK (T.B.M.)
	TEST PIT
	TREE W/ BARBED WIRE
	STONE WALL
	ABUTTING PROPERTY LINE
	NRCS SOIL LINE & LABEL
	EDGE OF POORLY DRAINED WETLAND
	OVERHEAD UTILITIES
	25' NO DISTURB WETLAND BUFFER
	50' BUILDING TO WETLAND SETBACK
	SEPTIC SETBACK
	CONTOUR LINE (MAJOR)
	CONTOUR LINE (MINOR)
	75' PROTECTIVE WELL RADIUS
	EXISTING DRAINAGE CULVERT
	FND FOUND
	TYP TYPICAL
	TBS TO BE SET
	S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
	PROPERTY LINE
	25% OR GREATER SLOPES
	POORLY DRAINED WETLAND

GIS SKETCH
STRAFFORD, NH
SCALE: 1" = 300' ±



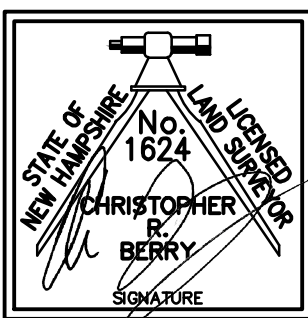
ABUTTERS WITHIN 200':

- 1 N/F MERRILL & CARROLL
JESSICA MERRILL & ROBERT CARROLL
6 BACK CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 90
S.C.R.D. BOOK 5248, PAGE 576
- 2 N/F PAUL, STEVEN J. REVOC. TRUST,
STEVEN J. PAUL, TRUSTEE
11 BACK CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 89
S.C.R.D. BOOK 5151, PAGE 893
- 3 N/F FAUTEUX, FERNAND R. JR & PAULA M.
24 BACK CANAN RD
STRAFFORD, NH 03884
TAX MAP 4, LOT 85-1-7
S.C.R.D. BOOK 4561, PAGE 74
- 4 N/F BOUDREAU, PETER W
45 BACK CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 91
S.C.R.D. BOOK 4571, PAGE 100
- 5 N/F REAGAN, CHRISTOPHER W. & LORENE
36 BACK CANAN ROAD
STRAFFORD, NH 03886
TAX MAP 4, LOT 88-1-2
S.C.R.D. BOOK 3529, PAGE 789
- 6 N/F CINFO & TUTTLE
ANTHONY CINFO & RACHEL S. TUTTLE
168 BACK CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 83-1-6
S.C.R.D. BOOK 5137, PAGE 601
- 7 N/F BURNHAM REVOC. TRUST
BURNHAM, CHARLES TRUSTEE
188 BACK CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 82-2
S.C.R.D. BOOK 5028, PAGE 664
- 8 N/F BURNHAM REVOC. TRUST
BURNHAM, CHARLES TRUSTEE
188 BACK CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 89-2
S.C.R.D. BOOK 5028, PAGE 664
- 9 N/F GROSKOPF, DAVID J. &
TRACEY M. TRUSTEES
DET GROSKOPF REVOC. TRUST
24 TERRI COURT
STRAFFORD, NH 03884
TAX MAP 4, LOT 86
S.C.R.D. BOOK 5062, PAGE 383
- 10 N/F BEEDE, JOHN D. & ALAN D.
133 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 70-2
S.C.R.D. BOOK 4727, PAGE 928

ABUTTERS WITHIN 200' CONT.:

- 11 N/F MARENGO, JAMES A. &
AMANDA E.
127 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 70-1
S.C.R.D. BOOK 4557, PAGE 752
- 12 N/F ROY, DAVID M. & JULIE RAE
111 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 74
S.C.R.D. BOOK 4188, PAGE 312
- 13 N/F SILVA, JOSEPH M.
89 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 77
S.C.R.D. BOOK 4512, PAGE 837
- 14 N/F BAER, RYAN
85 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 78
S.C.R.D. BOOK 4323, PAGE 846
- 15 N/F TOWN OF STRAFFORD
P.O. BOX 23
CENTER STRAFFORD, NH 03815
TAX MAP 4, LOT 80
S.C.R.D. BOOK 2220, PAGE 642
- 16 N/F MARSHALL, ROB & TRICIA A.
75 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 83-3
S.C.R.D. BOOK 4650, PAGE 52
- 17 N/F MC MANUS, JAMES A.
92 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 76
S.C.R.D. BOOK 4486, PAGE 837
- 18 N/F LANCEY & MASON
KIMBERLY LANCEY / LINDA M. MANSON
82 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 79
S.C.R.D. BOOK 1499, PAGE 743
- 19 N/F CORCORAN, RYAN PATRICK & ELISABETH
SUZANNE
80 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 81
S.C.R.D. BOOK 5222, PAGE 572
- 20 N/F CARRUTH FAMILY REVOC. TRUST
RONALD L. & GERALYN M. CARRUTH TRUSTEES
STRAFFORD, NH 03884
TAX MAP 4, LOT 82
S.C.R.D. BOOK 3259, PAGE 1000
- 21 N/F SMITH, GLORIA B. & NATHAN
56 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 84
S.C.R.D. BOOK 4552, PAGE 608
- 22 N/F MASON, RAY A. JR & ELIZABETH TRUSTEES
MASON FAMILY REVOC. TRUST
46 CANAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 86
S.C.R.D. BOOK 4891, PAGE 817

SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R1-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	RED	WHITE	WHITE	SQUARE (1)
W14-2	12"x6"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	YELLOW	BLACK	BLACK	U-CHANNEL (0)
	24"x12"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	GREEN	WHITE	WHITE	U-CHANNEL (0)
R8-31	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	RED	RED	SQUARE (2)
R2-1	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	WHITE	BLACK	BLACK	SQUARE (1)



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024

KENNETH A. BERRY
PROFESSIONAL ENGINEER

REVISION	DATE	DESCRIPTION
#1	12-04-25	

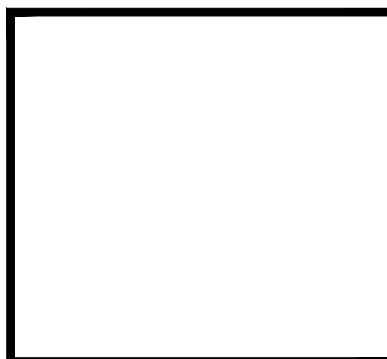
NEIGHBORHOOD PLAN LAND OF LOVELY REVOCABLE LIVING TRUST DAVID & REBECCA S. LOVELY TRUSTEES 20 BACK CANAN ROAD STRAFFORD, N.H. TAX MAP 4, LOT 83-1

WETLAND NOTE:

THE WETLAND DELINEATION WAS COMPLETED JUNE, 2024 ACCORDING TO THE FOLLOWING STANDARDS:

1. CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT 4-87-1, (JANUARY, 1987)
2. U.S. ARMY CORPS OF ENGINEERS, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL- NORTHERN AND NORTHEAST REGION, VERSION 2.0, U.S. ARMY ENGINEER RESEARCH AND DEVELOPMENT CENTER, 3909 HALLS FERRY ROAD, VICKSBURG, MS 39180-6199, JANUARY 2012, ERDC/EL TR-12-1
3. COWARDIN, LEWIS M., GOLET, FRANCIS C. AND LAROE, EDWARD T. CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, USFWS, DEPT. OF THE INTERIOR, WASH. D.C., 1979.
4. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.1, 2017 (INCLUDING CORRECTIONS TO VERSION 8.0, 2016, ON PAGES 21, 25, AND 34)
5. NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE. 2017 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND. NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA

FRAGGLE ROCK ENVIRONMENTAL
DAMON BURT, CWS #163



N/F PAUL, STEVEN J. REVOCABLE TRUST
PAUL, STEVEN J. TRUSTEE
11 BACK CANAAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 89
S.C.R.D. BOOK 5151, PAGE 893

N/F MERRILL, JESSICA & CARROLL, ROBERT
6 BACK CANAAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 90
S.C.R.D. BOOK 5248, PAGE 576

N/F SMITH, GLORIA B. & NATHAN
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TAX MAP 4, LOT 84
S.C.R.D. BOOK 4552, PAGE 608

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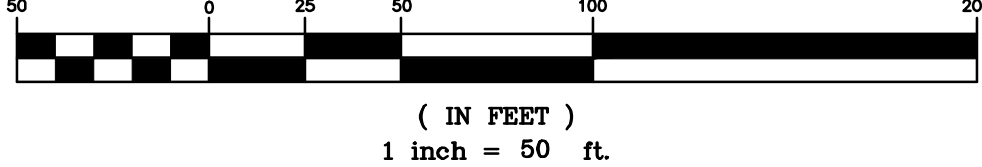
LEGEND:

- 3/4" REBAR W/D CAP (TBS)
- IRON BOUND/IRON ROD (FND)
- IRON PIPE (FND)
- DRILL HOLE (FND)
- STEEL STAKE (FND)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- EXISTING WELL
- TEMPORARY BENCHMARK (T.B.M.)
- TEST PIT
- TREE W/ BARBED WIRE

- STONE WALL
- ABUTTING PROPERTY LINE
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- CONTOUR LINE (MAJOR)
- CONTOUR LINE (MINOR)
- 75' PROTECTIVE WELL RADIUS
- FOUND
- TYP
- TBS TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- PROPERTY LINE

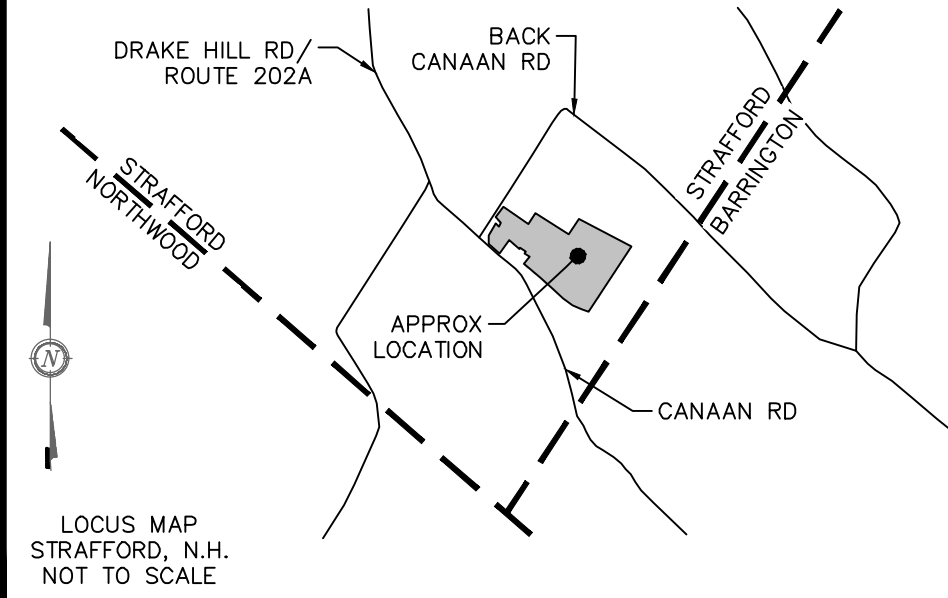
- 25% OR GREATER SLOPES
- POORLY DRAINED WETLAND

GRAPHIC SCALE



NOTES (CONT.):

- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REF.: FEMA, COMMUNITY # - 330196, MAP # - 33017C02600, DATED: MAY 17, 2005.
- 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- 8.) THE INTENT OF THIS PLAN IS TO SHOW A DETAILED VIEW OF THE EXISTING CONDITIONS OF STRAFFORD TAX MAP 4, LOT 83-1 DURING THE SUMMER OF 2025.
- 9.) THE CURRENT USE OF THE PROPERTY IS RESIDENTIAL.
- 10.) THIS SITE IS SERVICED BY ON-SITE WELL & SEPTIC SYSTEM.
- 11.) SEE OVERVIEW TOPOGRAPHY PLAN FOR TEST PIT DATA.

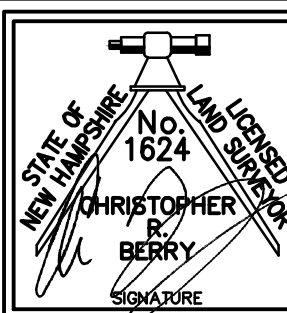


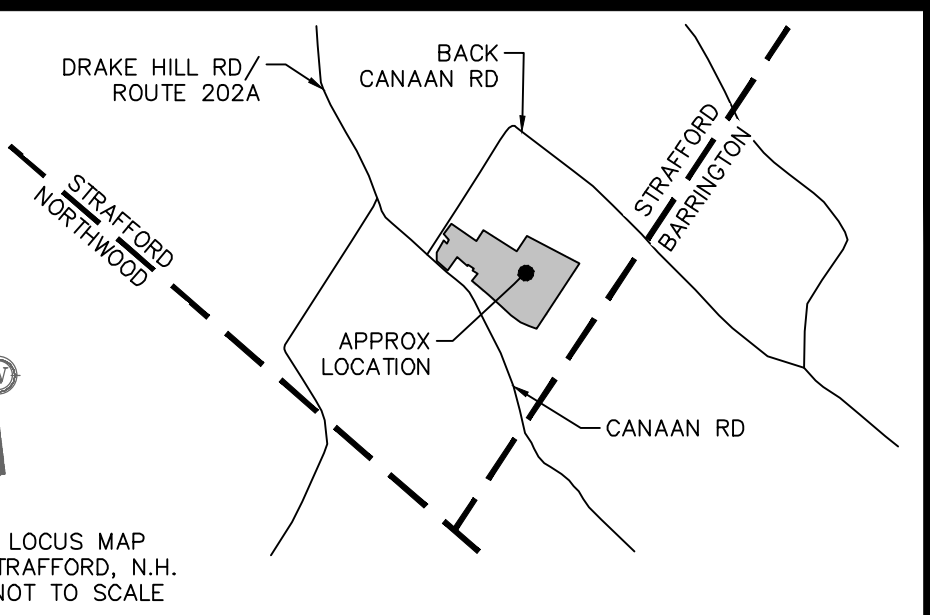
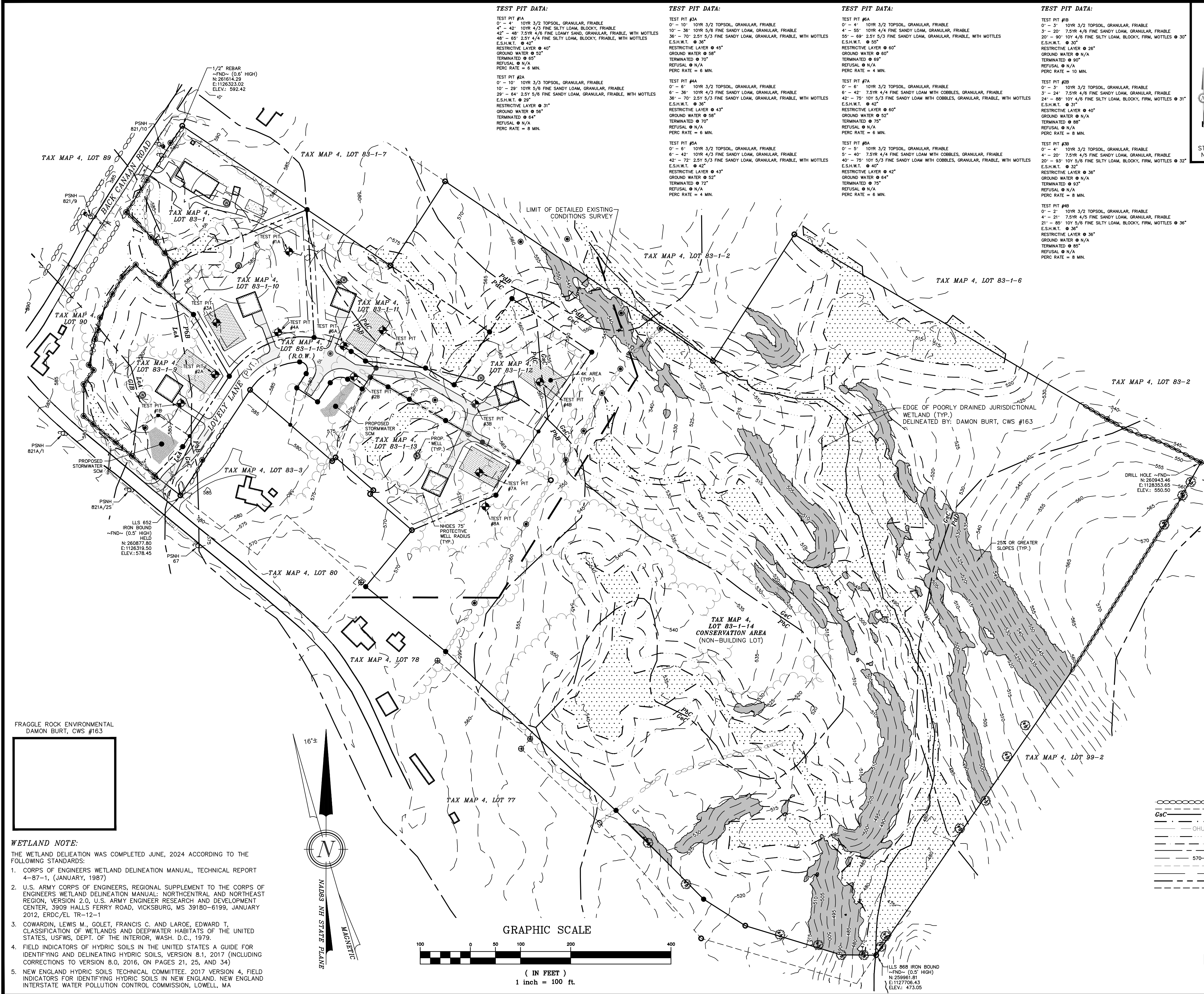
NOTES:

- 1.) OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEE'S
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
 - 2.) TAX MAP 4, LOT 83-1
 - 3.) LOT AREA: 1,781,113 Sq. Ft., 40.89 Ac.
 - 4.) S.C.R.D. BOOK 4465, PAGE 702
 - 5.) ZONING: AGRICULTURAL-RESIDENTIAL
- SETBACKS:
FRONT ~ 40.0'
SIDE ~ 25.0'
REAR ~ 25.0'
WETLANDS OVER 3,000 Sq. Ft. NO DISTURB BUFFER ~ 25.0'
POORLY DRAINED WETLANDS SETBACK (BUILDING) ~ 50.0'
POORLY DRAINED WETLANDS SETBACK (SEPTIC) ~ 75.0'
MIN. LOT SIZE ~ 87,120 Sq. Ft., 2.0 Ac.
MIN. LOT FRONTAGE ~ 200'

EXISTING CONDITIONS PLAN DETAIL
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024





NOTES:

1.) OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEE'S
20 BACK CANAAN ROAD
STRAFFORD, NH 03884

2.) TAX MAP 4, LOT B3-1

3.) LOT AREA: 1,781,113 Sq. Ft., 40.89 Ac.

4.) S.C.R.D. BOOK 4465, PAGE 702

5.) ZONING: AGRICULTURAL-RESIDENTIAL

SETBACKS:
FRONT ~ 40.0'
SIDE ~ 25.0'
REAR ~ 25.0'
WETLANDS OVER 3,000 Sq. Ft. NO DISTURB BUFFER ~ 25.0'
POORLY DRAINED WETLANDS SETBACK (BUILDING) ~ 50.0'
POORLY DRAINED WETLANDS SETBACK (SEPTIC) ~ 75.0'
MIN. LOT SIZE ~ 87,120 Sq. Ft., 2.0 Ac.
MIN. LOT FRONTAGE ~ 200'

SEE SECTION 1.4.3 OF THE "TOWN OF STRAFFORD ZONING AND LAND USE ORDINANCES" FOR CONSERVATION DEVELOPMENT REQUIREMENTS.

6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REF.: FEMA, COMMUNITY# - 330196, MAP# - 33017C0260D, DATED: MAY 17, 2005.

7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83 COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.

8.) THE INTENT OF THIS PLAN IS TO SHOW AN OVERVIEW OF THE TOPOGRAPHY ASSOCIATED WITH THE SUBDIVISION OF STRAFFORD TAX MAP 4, LOT B3-1 INTO 7 INDIVIDUAL LOTS AND 31 ACRES OF CONSERVATION AREA.

9.) THE CURRENT USE OF THE PROPERTY IS RESIDENTIAL. THE PROPOSED USE WILL BE RESIDENTIAL.

10.) THIS SITE WILL BE SERVICED BY ON SITE WELLS & SEPTIC SYSTEMS.

SOILS:

PbB - PAXTON, FINE SANDY LOAM, 3 TO 8% SLOPES

PbC - PAXTON, FINE SANDY LOAM, 8 TO 15% SLOPES

PdB - PAXTON, FINE SANDY LOAM, VERY STONY, 0 TO 8% SLOPES

PdC - PAXTON, FINE SANDY LOAM, VERY STONY, 8 TO 15% SLOPES

PdD - PAXTON, FINE SANDY LOAM, VERY STONY, 15 TO 25% SLOPES

LeA - LEICESTER, FINE SANDY LOAM, VERY STONY, 0 TO 3% SLOPES

CsC - GLOUCESTER, FINE SANDY LOAM, VERY STONY, 8 TO 15% SLOPES

CiB - GLOUCESTER, FINE SANDY LOAM, VERY STONY, 3 TO 8% SLOPES

SEE: USDA/NRCS WEBSOIL

LEGEND:

● 3/4" REBAR W/D CAP (TBS)
● 1/2" REBAR W/EASEMENT CAP (TBS)
○ IRON BOUND/IRON ROD (FND)
○ IRON PIPE (FND)
○ DRILL HOLE OR TRAVERSE CONTROL POINT (FND)
○ STEEL STAKE (FND)
○ UTILITY POLE / GUY WIRE
○ SINGLE POST SIGN
○ WELL
○ TEMPORARY BENCHMARK (T.B.M.)
● TEST PIT
● TREE W/ BARBED WIRE

--- STONE WALL
--- ABUTTING PROPERTY LINE
--- NRCS SOIL LINE & LABEL
--- EDGE OF POORLY DRAINED JURISDICTIONAL WETLAND
--- OVERHEAD UTILITIES
--- 25' NO DISTURB WETLAND BUFFER
--- 50' BUILDING TO WETLAND SETBACK
--- SEPTIC SETBACK
--- CONTOUR LINE (MAJOR)
--- CONTOUR LINE (MINOR)
--- 75' PROTECTIVE WELL RADIUS
--- PROPOSED BOUNDARY LINE
--- PROPOSED EASEMENT LINE
--- STORMWATER CONTROL MEASURES
--- FOUND
--- TYPICAL
--- TO BE SET
--- STRAFFORD COUNTY REGISTRY OF DEEDS
--- PROPERTY LINE

25% OR GREATER SLOPES
POORLY DRAINED WETLAND
4K LEACHING AREA

DESIGN REVISION	DESCRIPTION
#1	12-04-25
REVISION	DATE

CONSERVATION SUBDIVISION OVERVIEW PLAN (TOPOGRAPHIC)

LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT B3-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 100 FT.
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024

SHEET 5 OF 23

WETLAND NOTE:

- THE WETLAND DELINEATION WAS COMPLETED JUNE, 2024 ACCORDING TO THE FOLLOWING STANDARDS:
- CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT 4-87-1, (JANUARY, 1987)
 - U.S. ARMY CORPS OF ENGINEERS, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, U.S. ARMY ENGINEER RESEARCH AND DEVELOPMENT CENTER, 3909 HALLS FERRY ROAD, VICKSBURG, MS 39180-6199, JANUARY 2012, ERDC/EL TR-12-1
 - COWARDIN, LEWIS M., GOLET, FRANCIS C. AND LAROE, EDWARD T., CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, USFWS, DEPT. OF THE INTERIOR, WASH. D.C., 1979.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.1, 2017 (INCLUDING CORRECTIONS TO VERSION 8.0, 2016, ON PAGES 21, 25, AND 34)
 - NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE, 2017 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND. NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA

FRAGGLE ROCK ENVIRONMENTAL
DAMON BURT, CWS #163

N/F PAUL, STEVEN J. REVOCABLE
TRUST
PAUL, STEVEN J. TRUSTEE
11 BACK CANAAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 89
S.C.R.D. BOOK 5151, PAGE 893

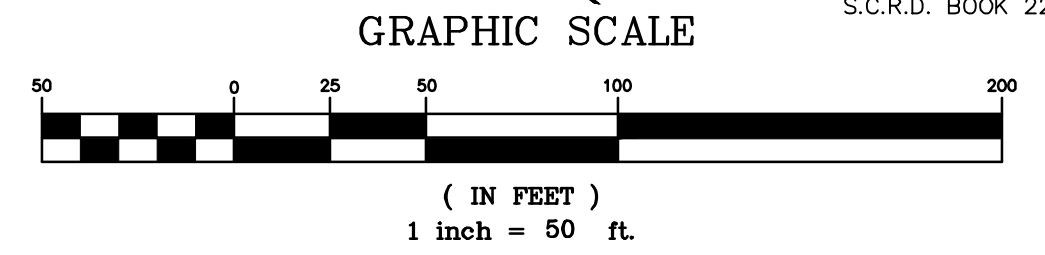
N/F MERRILL, JESSICA
& CARROLL, ROBERT
6 BACK CANAAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 90
S.C.R.D. BOOK 5248, PAGE 576

N/F SMITH, GLORIA B. & NATHAN
56 CANAAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 84
S.C.R.D. BOOK 4552, PAGE 608

LEGEND:

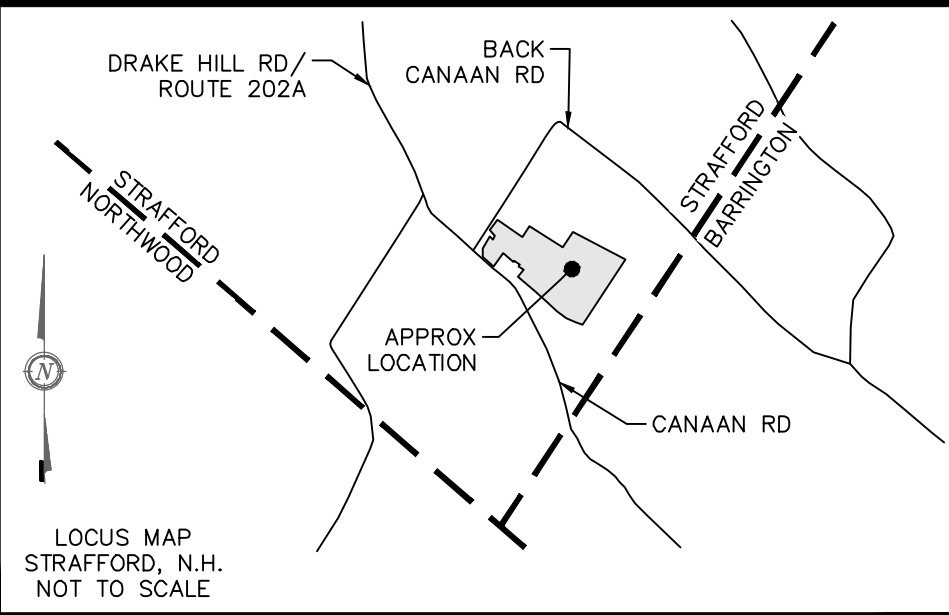
- 3/4" REBAR W/D CAP (TBS)
 - 1/2" REBAR W/EASEMENT CAP (TBS)
 - IRON BOUND/IRON ROD (FND)
 - IRON PIPE (FND)
 - DRILL HOLE OR TRAVERSE CONTROL POINT (FND)
 - STEEL STAKE (FND)
 - UTILITY POLE / GUY WIRE
 - TREE W/ BARBED WIRE
- N/F CARRUTH FAMILY REVOCABLE
TRUST
CARRUTH, RONALD L. & GERALYN
M., TRUSTEES
64 CANAAN ROAD
STRAFFORD, NH 03884
TAX MAP 4, LOT 82
S.C.R.D. BOOK 3259, PAGE 1000

- STONE WALL
- APPROXIMATE ABUTTING PROPERTY LINE
- EDGE OF POORLY DRAINED JURISDICTIONAL WETLAND
- BUILDING SETBACK
- 25' NO DISTURB WETLAND BUFFER
- 50' BUILDING TO WETLAND SETBACK
- PROPOSED BOUNDARY LINE
- PROPOSED EASEMENT LINE
- FND FOUND
- TYP TYPICAL
- TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS



NOTES (CONT.):

- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD. HAZARD REF.: FEMA COMMUNITY# - 330196, MAP# - 33017C0260D DATED: MAY 17, 2005.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- THE INTENT OF THIS PLAN SET IS TO SHOW A DETAIL VIEW OF THE SUBDIVISION OF STRAFFORD TAX MAP 4, LOT 83-1 INTO 7 INDIVIDUAL LOTS AND 31 ACRE CONSERVATION AREA.
- THE CURRENT USE OF THE PROPERTY IS RESIDENTIAL. THE PROPOSED USE WILL BE RESIDENTIAL.
- THIS SITE WILL BE SERVICED BY ON SITE WELLS & SEPTIC SYSTEMS.

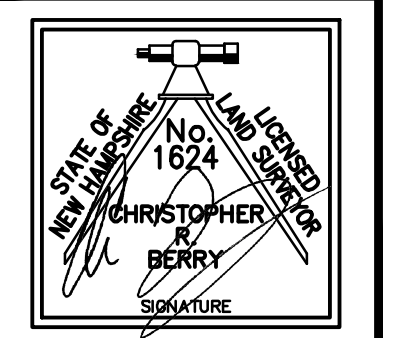


NOTES:

- OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEE'S
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
 - TAX MAP 4, LOT 83-1
 - LOT AREA: 1,781,113 Sq. Ft., 40.89 Ac.
 - S.C.R.D. BOOK 4465, PAGE 702
 - ZONING: AGRICULTURAL-RESIDENTIAL
- SETBACKS:
FRONT ~ 40.0'
SIDE ~ 25.0'
REAR ~ 25.0'
WETLANDS OVER 3,000 Sq. Ft. NO DISTURB BUFFER ~ 25.0'
POORLY DRAINED WETLANDS SETBACK (BUILDING) ~ 50.0'
POORLY DRAINED WETLANDS SETBACK (SEPTIC) ~ 75.0'
MIN. LOT SIZE ~ 87,120 Sq. Ft., 2.0 Ac.
MIN. LOT FRONTAGE ~ 200'
- SEE SECTION 1.4.3 OF THE "TOWN OF STRAFFORD ZONING AND LAND USE ORDINANCES" FOR CONSERVATION DEVELOPMENT REQUIREMENTS.

CONSERVATION SUBDIVISION PLAN DETAIL
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024



STRAFFORD
APPROVED
PLANNING BOARD

SIGNATURE _____

TITLE _____

DATE _____

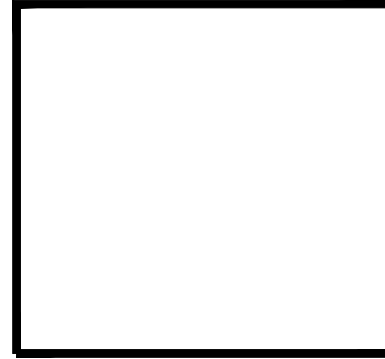
I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF STRAFFORD - 1:15,000 -

CHRISTOPHER R. BERRY LLS 1624 DATE _____

WETLAND NOTE:

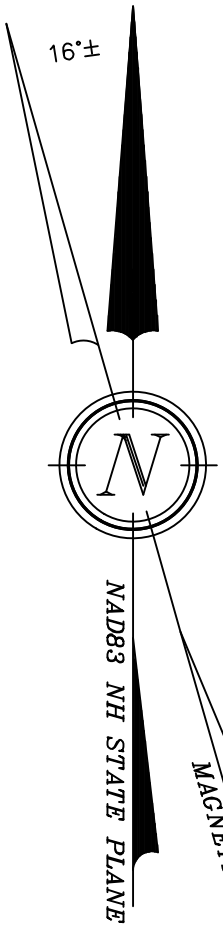
- THE WETLAND DELINEATION WAS COMPLETED JUNE, 2024 ACCORDING TO THE FOLLOWING STANDARDS:
- CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT 4-87-1, (JANUARY, 1987)
 - U.S. ARMY CORPS OF ENGINEERS, REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTRAL AND NORTHEAST REGION, VERSION 2.0, U.S. ARMY ENGINEER RESEARCH AND DEVELOPMENT CENTER, 3909 HALLS FERRY ROAD, VICKSBURG, MS 39180-6199, JANUARY 2012, ERDC/EL TR-12-1
 - COWARDIN, LEWIS M., GOLET, FRANCIS C. AND LAROE, EDWARD T. CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, USFWS, DEPT. OF THE INTERIOR, WASH. D.C., 1979.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.1, 2017 (INCLUDING CORRECTIONS TO VERSION 8.0, 2016, ON PAGES 21, 25, AND 34)
 - NEW ENGLAND HYDRIC SOILS TECHNICAL COMMITTEE. 2017 VERSION 4, FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND. NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION, LOWELL, MA

FRAGGLE ROCK ENVIRONMENTAL
DAMON BURT, CWS 163



TAX MAP 4, LOT 89

TAX MAP 4, LOT 84

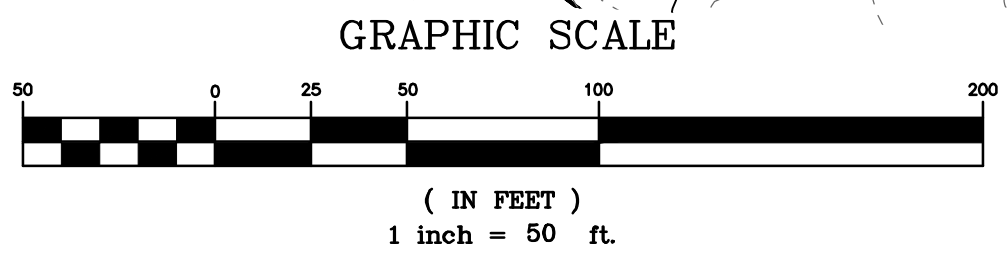


SOILS:

- P_BB** - PAXTON, FINE SANDY LOAM, 3 TO 8% SLOPES
P_BC - PAXTON, FINE SANDY LOAM, 8 TO 15% SLOPES
P₄B - PAXTON, FINE SANDY LOAM, VERY STONY, 0 TO 8% SLOPES
P₄C - PAXTON, FINE SANDY LOAM, VERY STONY, 8 TO 15% SLOPES
P₄D - PAXTON, FINE SANDY LOAM, VERY STONY, 15 TO 25% SLOPES
L_eA - LEICESTER, FINE SANDY LOAM, VERY STONY, 0 TO 3% SLOPES
G_sC - GLOUCESTER, FINE SANDY LOAM, VERY STONY, 8 TO 15% SLOPES
G₄B - GLOUCESTER, FINE SANDY LOAM, VERY STONY, 3 TO 8% SLOPES

SEE: USDA/NRCS WEBSOIL

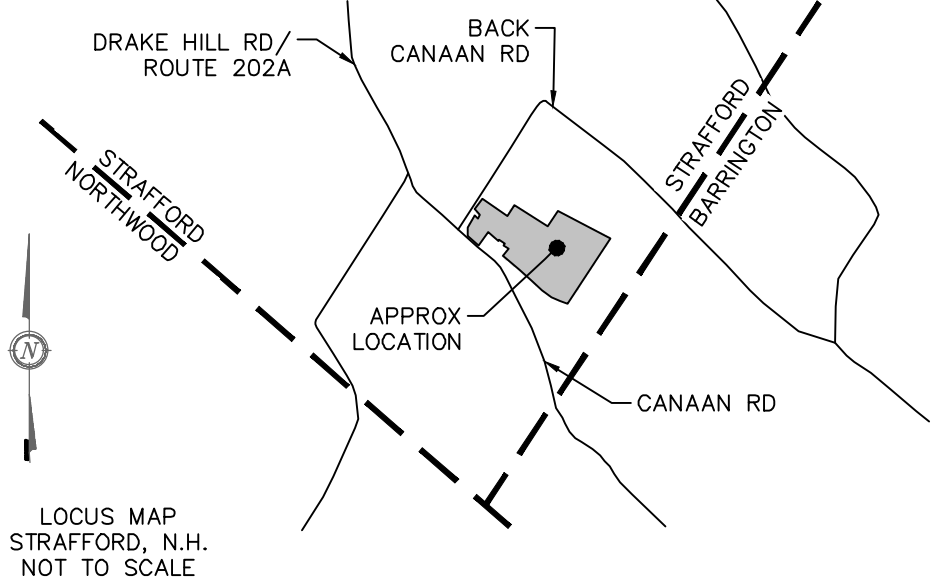
TAX MAP 4, LOT 82



TAX MAP 4, LOT 80

NOTES (CONT.):

- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REF.: FEMA, COMMUNITY# - 330196, MAP# - 33017C02600, DATED: MAY 17, 2005.
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- THE INTENT OF THIS PLAN IS TO SHOW A DETAILED VIEW OF THE TOPOGRAPHY ASSOCIATED WITH THE SUBDIVISION OF STRAFFORD TAX MAP 4, LOT 83-1 INTO 7 INDIVIDUAL LOTS AND 31 ACRE CONSERVATION AREA.
- THE CURRENT USE OF THE PROPERTY IS RESIDENTIAL. THE PROPOSED USE WILL BE RESIDENTIAL.
- THIS SITE WILL BE SERVICED BY ON SITE WELLS & SEPTIC SYSTEMS.
- WELL DRILLER TO PREVENT ANY BUFFER OR WETLAND IMPACT.



NOTES:

- OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEE'S
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
 - TAX MAP 4, LOT 83-1
 - LOT AREA: 1,781,113 Sq. Ft., 40.89 Ac.
 - S.C.R.D. BOOK 4465, PAGE 702
 - ZONING: AGRICULTURAL-RESIDENTIAL
- SETBACKS:
FRONT ~ 40.0'
SIDE ~ 25.0'
REAR ~ 25.0'
WETLANDS OVER 3,000 Sq. Ft. NO DISTURB BUFFER ~ 25.0'
POORLY DRAINED WETLANDS SETBACK (BUILDING) ~ 50.0'
POORLY DRAINED WETLANDS SETBACK (SEPTIC) ~ 75.0'
MIN. LOT SIZE ~ 87,120 Sq. Ft., 2.0 Ac.
MIN. LOT FRONTAGE ~ 200'
- SEE SECTION 14.3 OF THE "TOWN OF STRAFFORD ZONING AND LAND USE ORDINANCES" FOR CONSERVATION DEVELOPMENT REQUIREMENTS.

LEGEND:

- 3/4" REBAR W/D CAP (TBS)
- 1/2" REBAR W/EASEMENT CAP (TBS)
- IRON BOUND/IRON ROD (FND)
- IRON PIPE (FND)
- DRILL HOLE OR TRAVERSE CONTROL POINT (FND)
- STEEL STAKE (FND)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- WELL
- TEMPORARY BENCHMARK (T.B.M.)
- TEST PIT
- TREE W/ BARBED WIRE
- STONE WALL
- ABUTTING PROPERTY LINE
- NRCS SOIL LINE & LABEL
- EDGE OF POORLY DRAINED JURISDICTIONAL WETLAND
- OVERHEAD UTILITIES
- 25' NO DISTURB WETLAND BUFFER
- 50' BUILDING TO WETLAND SETBACK
- SEPTIC SETBACK
- CONTOUR LINE (MAJOR)
- CONTOUR LINE (MINOR)
- 75' PROTECTIVE WELL RADIUS
- PROPOSED BOUNDARY LINE
- PROPOSED EASEMENT LINE
- SCM
- FND
- TYP
- TBS
- TO BE SET
- S.C.R.D.
- PROPERTY LINE
- 25% OR GREATER SLOPES
- POORLY DRAINED WETLAND
- 4K LEACHING AREA

CONSERVATION SUBDIVISION PLAN DETAIL (TOPOGRAPHIC)

LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024

NEW STATE OF NH LICENSE NO. 1624
CHRISTOPHER BERRY
SIGNATURE

SHEET 7 OF 23

- NOTES:
- OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
 - TAX MAP 4, LOT 83-1
 - THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF GRADING & ENGINEERING OF LOVELY LANE AND TAX MAP 4, LOT 83-1.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.

WAIVER REQUESTS:
SECTION 2.6.5.C: 3% WITHIN 100' OF INTERSECTION
SECTION 2.6.5.D: DEAD END STREET W/ 20' PAVEMENT WIDTH
SECTION 2.6.5.E: HORIZONTAL CURVE RADIUS OF 230'
SECTION 2.6.5.F: STREET CONSTRUCTION STANDARDS
(PAVEMENT WIDTH, SHOULDER WIDTH, 4:1 ROAD SHOULDER)
SECTION 5.4(5): VOLUME OF RUNOFF
SECTION 5.4(6): GROUNDWATER RECHARGE VOLUME
SECTION 1.4.3.D.2A: 100' SETBACK FROM EXISTING LOT LINES

CONDITIONAL USE PERMIT REQUEST:
IMPACT AREA #1: 399 Sq. Ft.
IMPACT AREA #2: 1,390 Sq. Ft.
IMPACT AREA #3: 672 Sq. Ft.
25' WETLAND BUFFER IMPACT AREA: 2,451 Sq. Ft.

EXISTING LEGEND:

- IRON BOUND/IRON ROD (FND)
- IRON PIPE (FND)
- DRILL HOLE (FND)
- STEEL STAKE (FND)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- TEMPORARY BENCHMARK (T.B.M.)
- TEST PIT
- TREE W/ BARBED WIRE
- STONE WALL
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF POORLY DRAINED WETLAND
- 25' NO DISTURB WETLAND BUFFER
- 50' BUILDING TO WETLAND SETBACK
- SEPTIC SETBACK
- OVERHEAD UTILITIES
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- FND FOUND
- TYP TYPICAL
- TBS TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

PROPOSED LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- 1/2" EASEMENT REBAR W/ ID CAP ~TBS~
- PROPOSED SUBDIVISION LINE
- PROPOSED EASEMENT LINE
- STORMWATER BMP OUTLET STRUCTURE
- DROP INLET W/ STRUCTURE
- FLOW ARROW
- WELL
- TEMPORARY BENCHMARK (T.B.M.)
- DETAIL SHEET / DETAIL
- MATCH POINT
- CONTOUR MINOR, PROPOSED
- CONTOUR MAJOR, PROPOSED
- DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
- SHOULDER
- CENTER LINE
- BUILDING SETBACK LINE
- UNDERGROUND UTILITIES / TRANSFORMER
- RIP RAP
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- BERM
- PROPOSED PAVEMENT/GRAVEL SURFACE
- CONDITIONAL USE PERMIT AREA

STANDARD GRADING & DRAINAGE NOTES:

- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS, BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DISSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. LIMIT OF GRADING SHOULD NOT BE EXPANDED WITHOUT CONSULTING THE DESIGN ENGINEER. SEE ALSO E&S&C PLAN.
- ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH [T] SHALL BE THERMOPLASTIC.
- BUILDING ADDRESSES SHALL BE DETERMINED BY THE BUILDING OFFICIAL.
- ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE LOAM PLACED AND SEEDED. THE LOAM SHALL HAVE A MINIMUM DEPTH OF 4 INCHES AND SHALL BE PLACED FLUSH WITH THE TOP OF THE ADJACENT CURB, EDGING, BERM OR PAVEMENT SURFACE.
- ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER SHALL BE IMMEDIATELY OF ANY DISCREPANCY, TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER AND AFTER STORM EVENTS OF OVER 0.25".
- EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP SECTION 6.3. PLEASE NOTE THAT SPECIFIC STORMWATER, EROSION PREVENTION AND SEDIMENT CONTROL TRAINING AND CERTIFICATION IS REQUIRED. INSPECTION REPORTS TO BE SUBMITTED TO THE TOWN OF STRAFFORD WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE PROJECT IS COMPLETED.
- PER EPA CGP 2.1.2.2 (INSTALL PERIMETER CONTROL). "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&S&C MEASURES SHOWN IS INITIATING GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATION DO NOT OCCUR.
- THE PROPOSED PROJECT WILL CONSIST OF ONE PHASE AND WILL DISTURB 67,500 Sq.Ft. 1.55 Ac. LOT DISTURBANCE SHALL NOT COMMENCE UNTIL THE ROADWAY CONSTRUCTION IS STABILIZED.
- WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- SEE EROSION & SEDIMENT CONTROL PLAN FOR ALL REQUIRED E&S&C MEASURES AND APPLICABLE NOTES & CONSTRUCTION GENERAL PERMIT (CGP) REQUIREMENTS.
- REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE'S SURFACE AREA AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP AND EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE TOWN OF STRAFFORD.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH NH ELECTRIC COOPERATIVE AT 1-800-698-2007. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY NH ELECTRIC COOPERATIVE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL CABLE AND TELECOMMUNICATIONS INSTALLATIONS WITH COMCAST.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DE-WATERED AREAS, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING. HAY OR HEATING BLANKETS MAY BE REQUIRED BASED ON THE TIME OF YEAR.
- IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN EXISTING TOWN R.O.W.), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING. HAY OR HEATING BLANKETS MAY BE REQUIRED BASED ON THE TIME OF YEAR.
- PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
- BERMS TO BE CONSTRUCTED WITH HIGH QUALITY CLAY MATERIAL, AND COMPACTED APPROPRIATELY. NO FROZEN MATERIALS ARE TO BE USED IN THE CONSTRUCTION OF ANY BERM ON SITE. TO BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER & TOWN OF STRAFFORD OR THEIR AGENTS.
- ALL DRAINAGE PIPE IS TO BE HOPE N-12 ASTM F2648. (GREEN PIPE) INDIVIDUAL PIPE SIZES ARE SPECIFIED.
- UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE SEDIMENT BASIN AND OUTLET SUMPS.
- ALL BASINS AND DRAINS ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS.
- ALL PROPOSED CLEAN OUTS ARE TO BE VERTICAL 12" N-12 PIPE WITH CAST IRON COVERS SCREWED WITH STAINLESS SCREWS. THE COVER IS TO BE DEMARCATED WITH A "O".

GRAPHIC SCALE

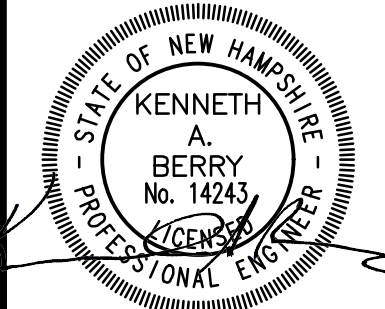


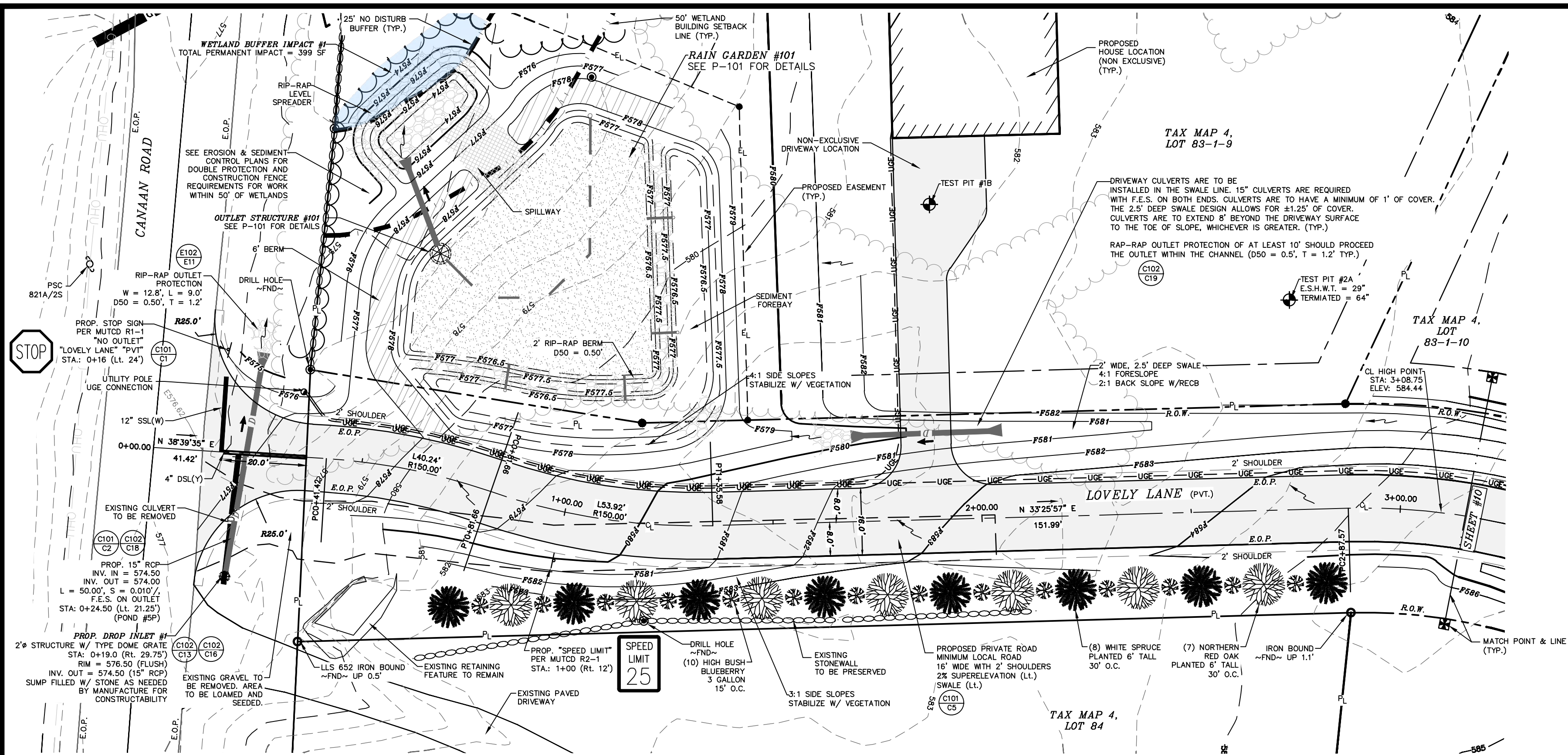
(IN FEET)
1 inch = 50 ft.

DESIGN REVISION	DESCRIPTION
#1	12-04-25
REVISION	DATE

OVERVIEW GRADING & DRAINAGE PLAN	LAND OF
LOVELY REVOCABLE LIVING TRUST	DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD	STRAFFORD, N.H.
TAX MAP 4, LOT 83-1	

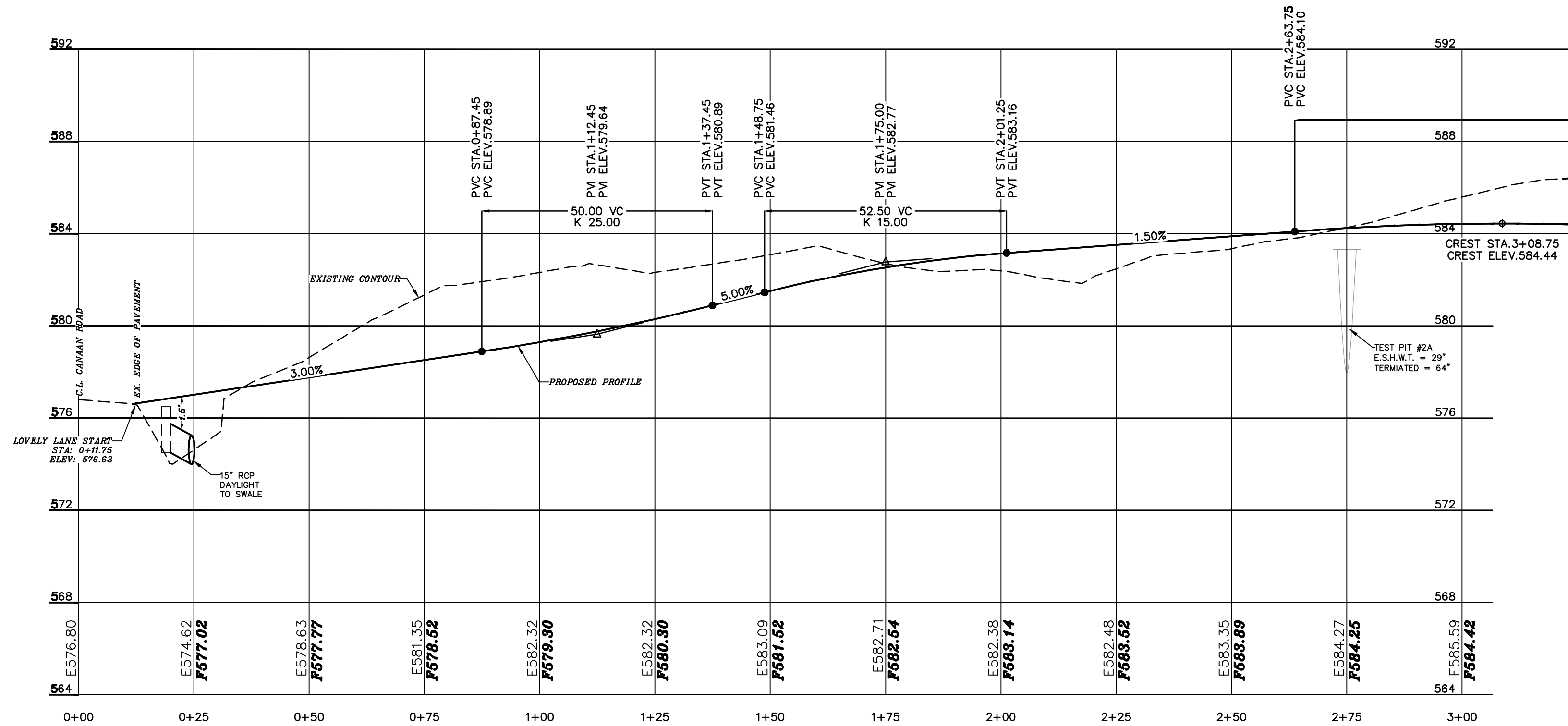
BERRY SURVEYING & ENGINEERING	335 SECOND CROWN POINT ROAD	BARRINGTON, NH 03825 (603)332-2863
SCALE :	1 IN. EQUALS 50 FT.	
DATE :	OCTOBER 14, 2025	
FILE NO. :	DB 2025-024	





PLAN VIEW LOVELY LANE 0+00 TO 3+00

PROFILE VIEW LOVELY LANE 0+00 TO 3+00



NOTES:

- OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEE'S
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
- TAX MAP 4, LOT 83-1
- THE INTENT OF THIS PLAN IS TO PROVIDE GRADING & ENGINEERING DETAILS OF LOVELY LANE AND TAX MAP 4, LOT 83-1.
- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING CONTOURS ARE PROVIDED AT 1' INTERVALS WITH PROPOSED CONTOURS PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- SEE OVERVIEW GRADING PLAN STANDARD CONSTRUCTION NOTES.

EXISTING LEGEND:

- IRON BOUND/IRON ROD (FND)
- IRON PIPE (FND)
- DRILL HOLE (FND)
- STEEL STAKE (FND)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- TEMPORARY BENCHMARK (T.B.M.)
- TEST PIT
- TREE W/ BARBED WIRE

- STONE WALL
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF POORLY DRAINED WETLAND
- 25' NO DISTURB WETLAND BUFFER
- 50' BUILDING TO WETLAND SETBACK
- SEPTIC SETBACK
- OVERHEAD UTILITIES
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR

- FND FOUND
- TYP TYPICAL
- TBS TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

PROPOSED LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- 1/2" EASEMENT REBAR W/ ID CAP ~TBS~

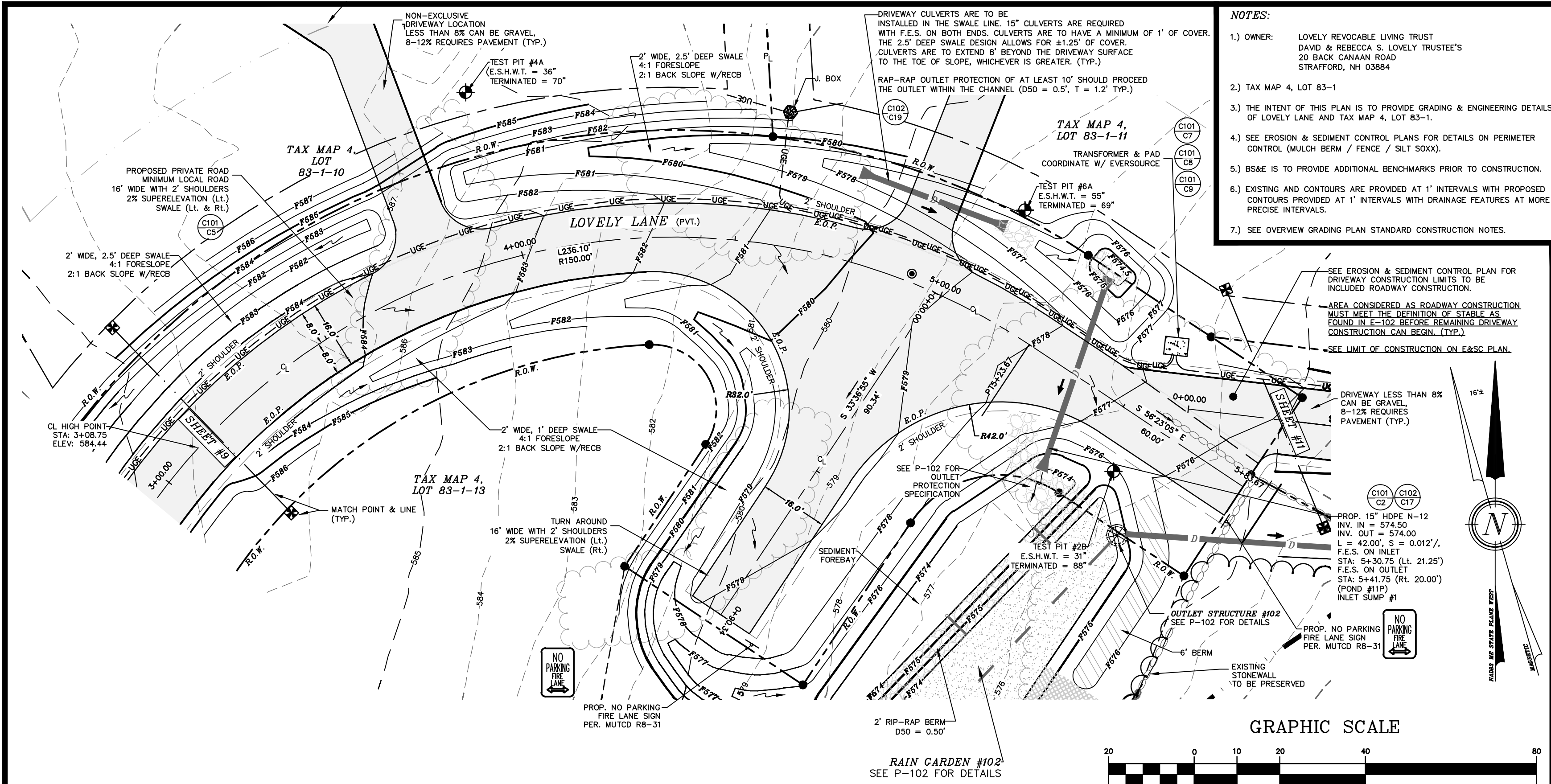
- PROPOSED SUBDIVISION LINE
- PROPOSED EASEMENT LINE
- STORMWATER BMP OUTLET STRUCTURE
- DROP INLET W/ STRUCTURE
- FLOW ARROW
- WELL
- TEMPORARY BENCHMARK (T.B.M.)
- DETAIL SHEET / DETAIL
- MATCH POINT
- MATCH LINE
- CONTOUR MINOR, PROPOSED
- CONTOUR MAJOR, PROPOSED
- DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
- SHOULDER
- CENTER LINE
- BUILDING SETBACK LINE
- UNDERGROUND UTILITIES / TRANSFORMER
- RIP RAP
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- BERM
- PROPOSED PAVEMENT/GRAVEL SURFACE
- CONDITIONAL USE PERMIT AREA

DESIGN REVISION	DATE	DESCRIPTION
#1	12-04-25	

PLAN AND PROFILE LOVELY LANE 0+00 TO 3+00
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

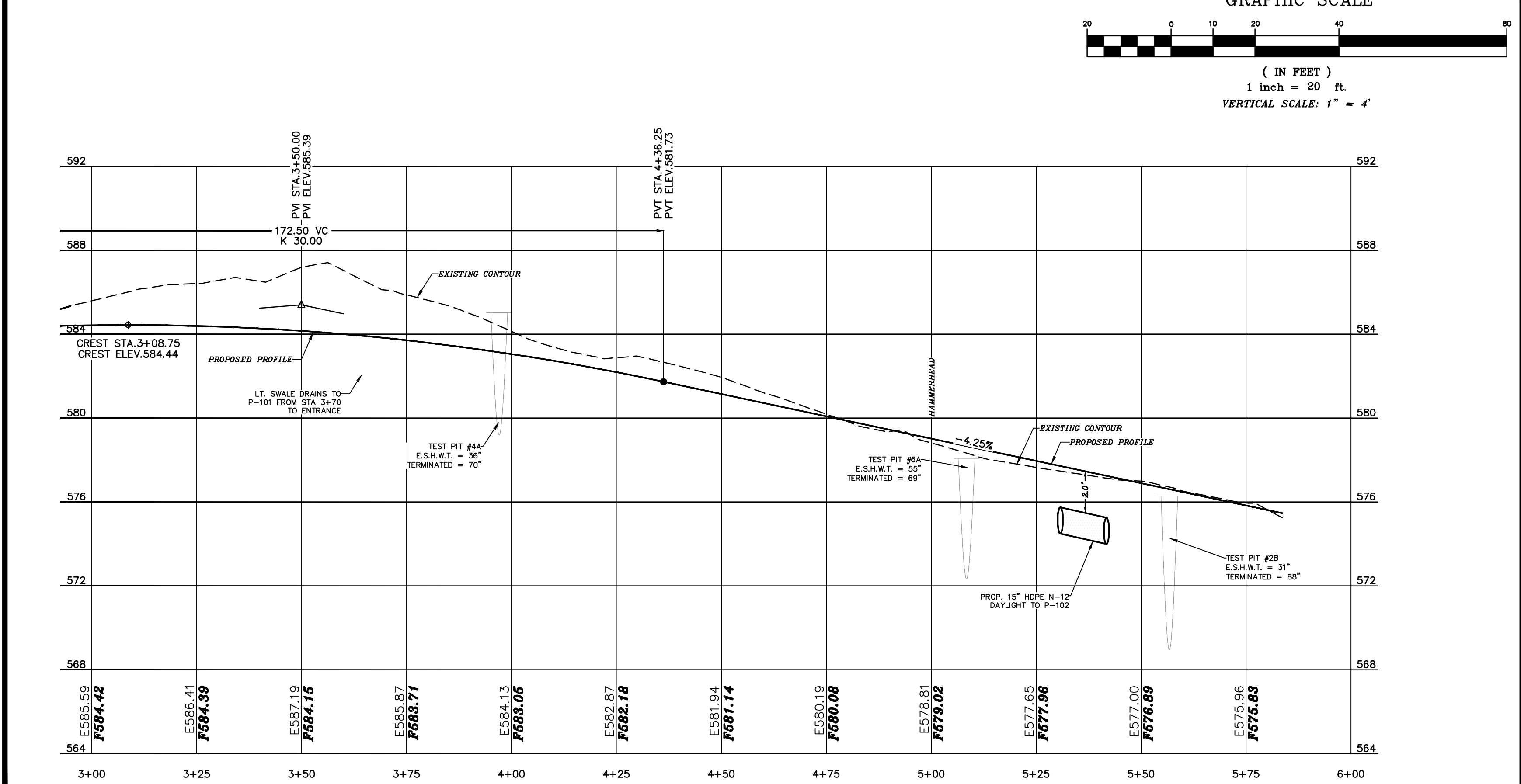
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024

KENNETH A. BERRY
No. 14243
PROFESSIONAL ENGINEER

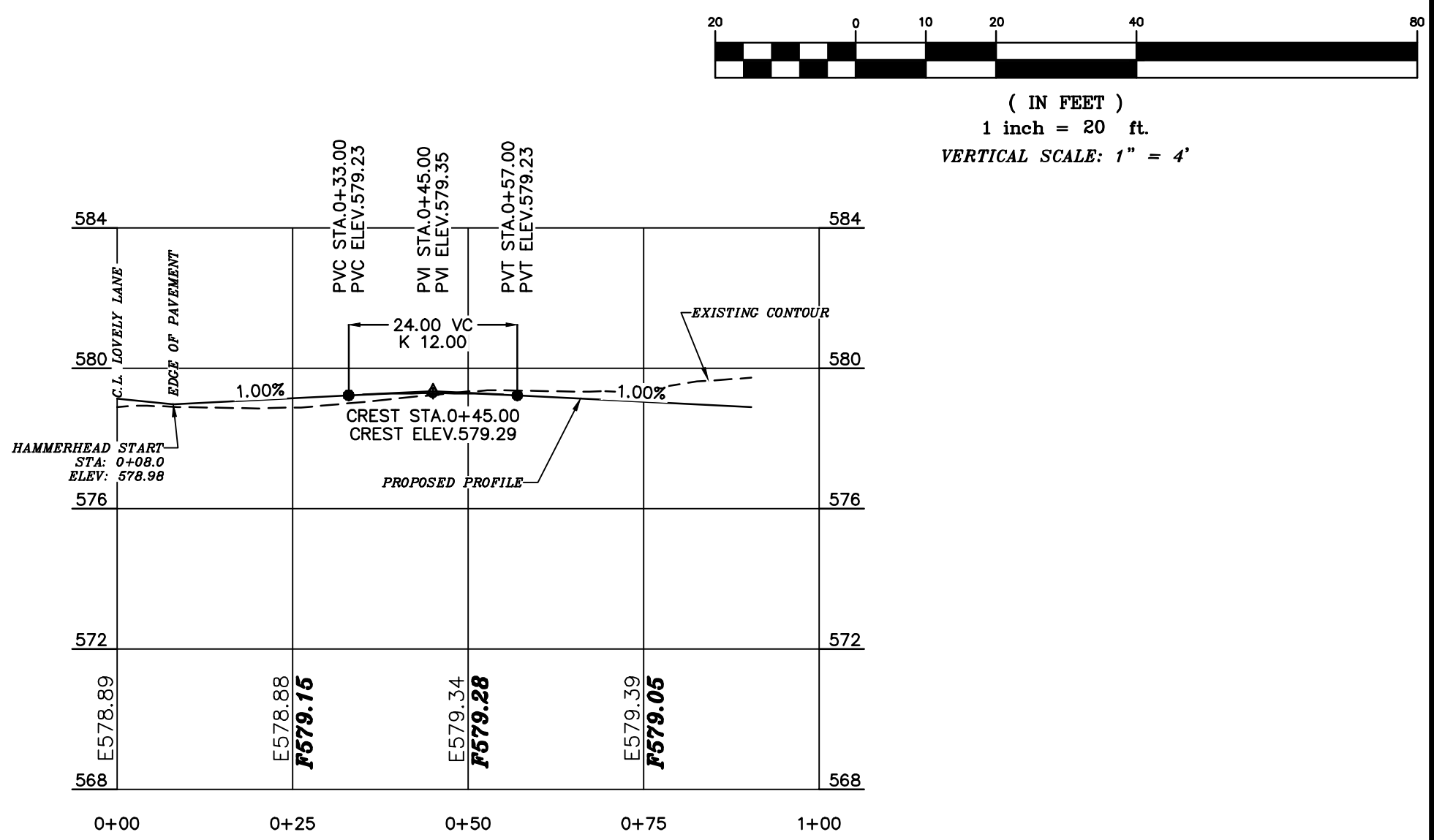


PLAN VIEW LOVELY LANE 3+00 TO END

PROFILE VIEW LOVELY LANE 3+00 TO END



PROFILE VIEW HAMMERHEAD



- NOTES:
- OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
 - TAX MAP 4, LOT 83-1
 - THE INTENT OF THIS PLAN IS TO PROVIDE GRADING & ENGINEERING DETAILS OF LOVELY LANE AND TAX MAP 4, LOT 83-1.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND CONTOURS ARE PROVIDED AT 1' INTERVALS WITH PROPOSED CONTOURS PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE OVERVIEW GRADING PLAN STANDARD CONSTRUCTION NOTES.

EXISTING LEGEND:

- IRON BOUND/IRON ROD (FND)
- IRON PIPE (FND)
- DRILL HOLE (FND)
- STEEL STAKE (FND)
- UTILITY POLE / GUY WIRE
- SINGLE POST SIGN
- TEMPORARY BENCHMARK (T.B.M.)
- TEST PIT
- TREE W/ BARBED WIRE

- STONE WALL
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF POORLY DRAINED WETLAND
- 25' NO DISTURB WETLAND BUFFER
- 50' BUILDING TO WETLAND SETBACK
- SEPTIC SETBACK
- OVERHEAD UTILITIES
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR

- FND FOUND
- TYP TYPICAL
- TBS TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

PROPOSED LEGEND:

- 4"x4" GRANITE BOUND ~TBS~
- 3/4" REBAR W/ ID CAP ~TBS~
- 1/2" EASEMENT REBAR W/ ID CAP ~TBS~
- PROPOSED SUBDIVISION LINE
- PROPOSED EASEMENT LINE
- STORMWATER BMP OUTLET STRUCTURE
- DRAIN INLET W/ STRUCTURE
- FLOW ARROW
- WELL
- TEMPORARY BENCHMARK (T.B.M.)
- DETAIL SHEET / DETAIL
- MATCH POINT
- MATCH LINE
- CONTOUR MINOR, PROPOSED
- CONTOUR MAJOR, PROPOSED
- DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
- SHOULDER
- CENTER LINE
- BUILDING SETBACK LINE
- UNDERGROUND UTILITIES / TRANSFORMER
- RIP RAP
- STORMWATER BEST MANAGEMENT PRACTICE (BMP)
- BERM
- PROPOSED PAVEMENT/GRAVEL SURFACE
- CONDITIONAL USE PERMIT AREA

DESIGN REVISION	DATE	DESCRIPTION
#1	12-04-25	

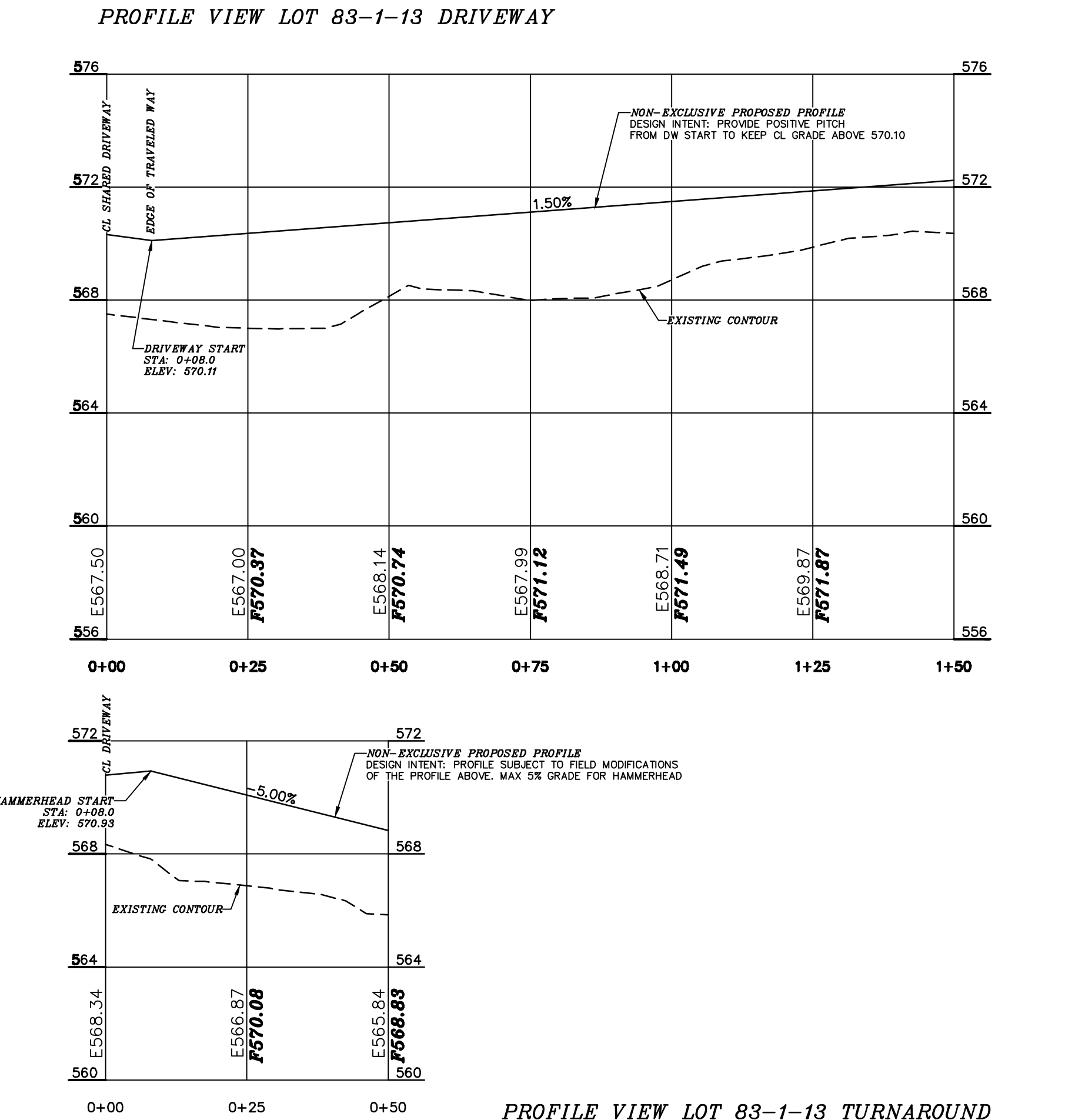
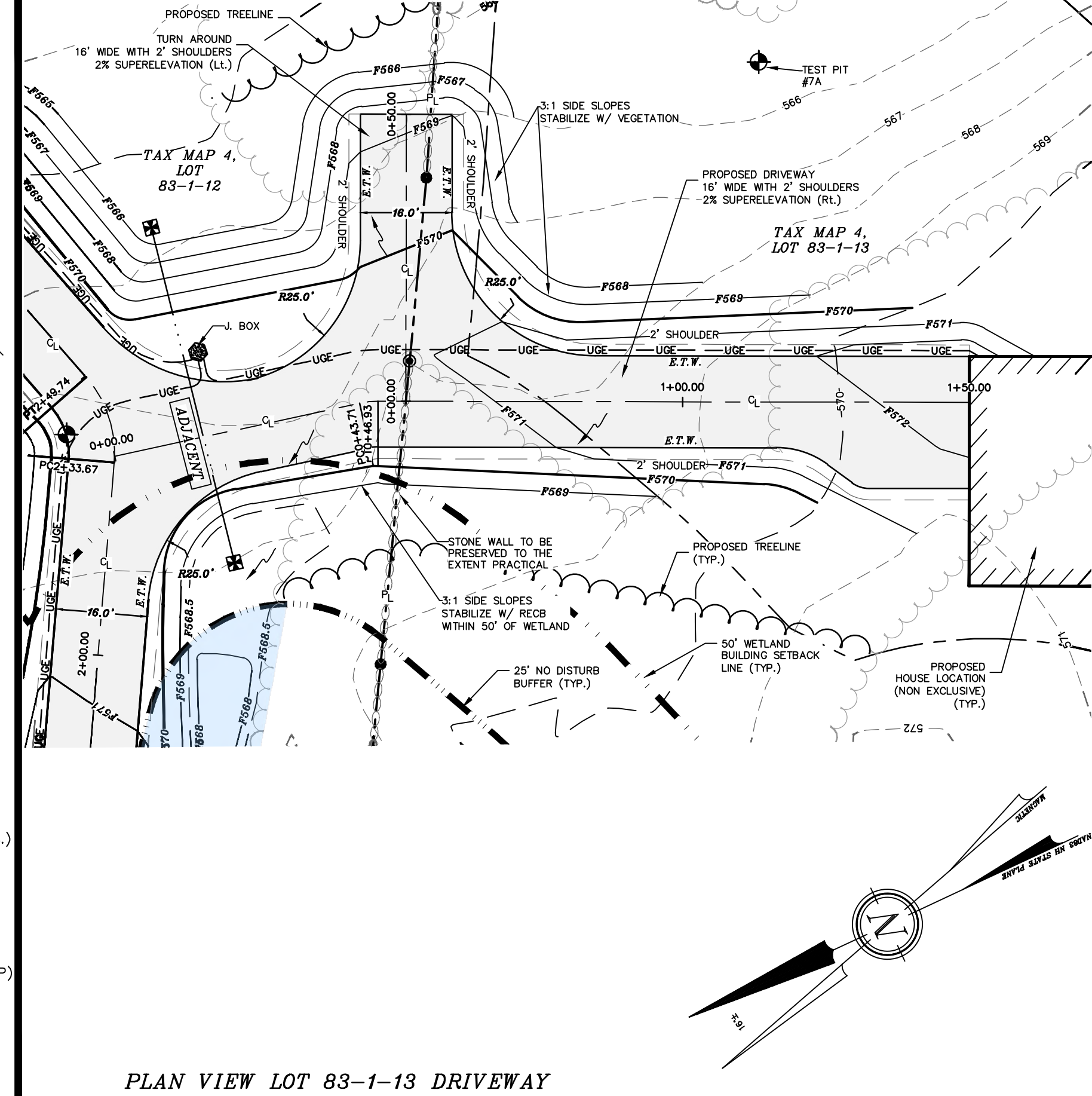
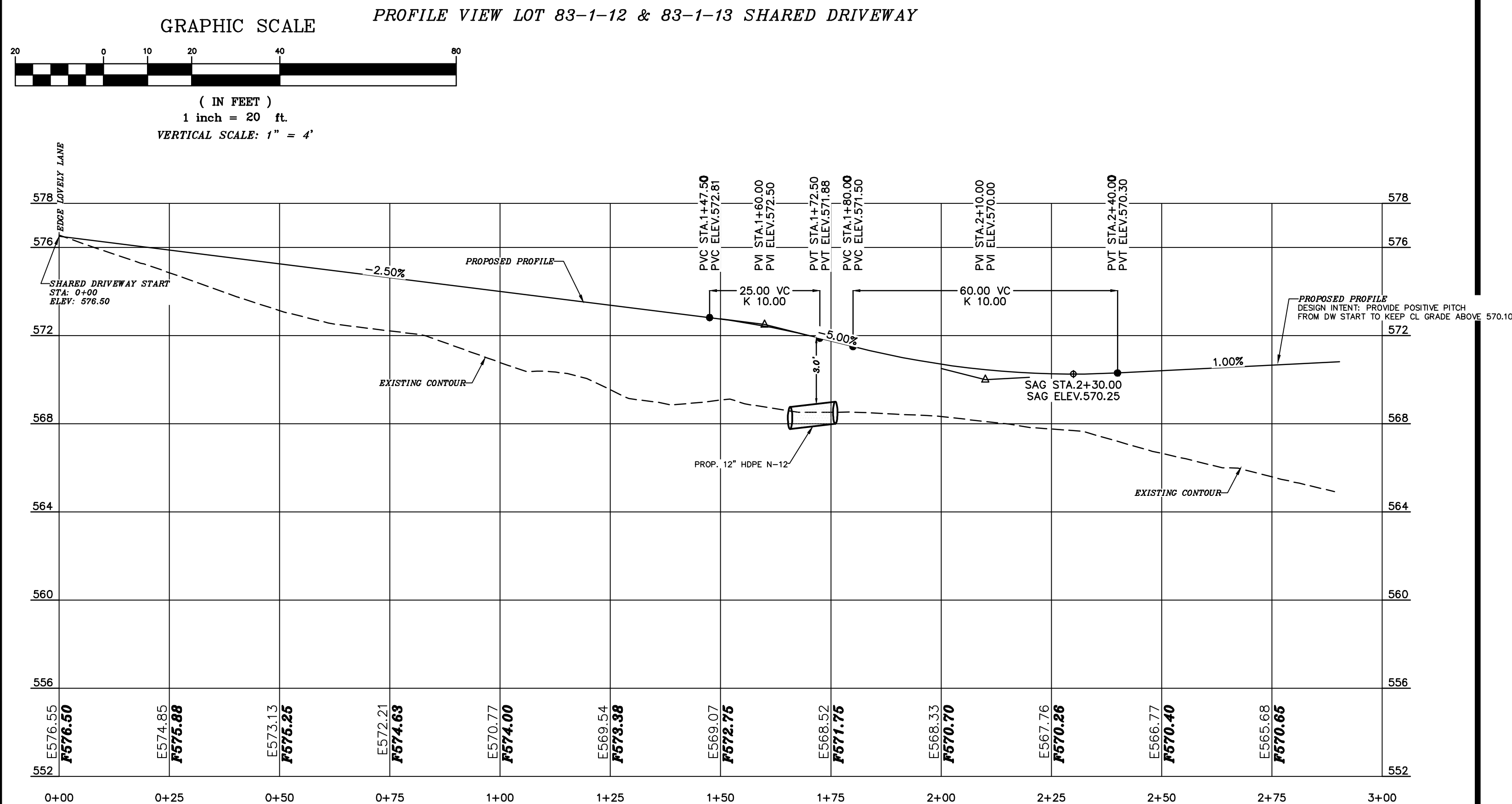
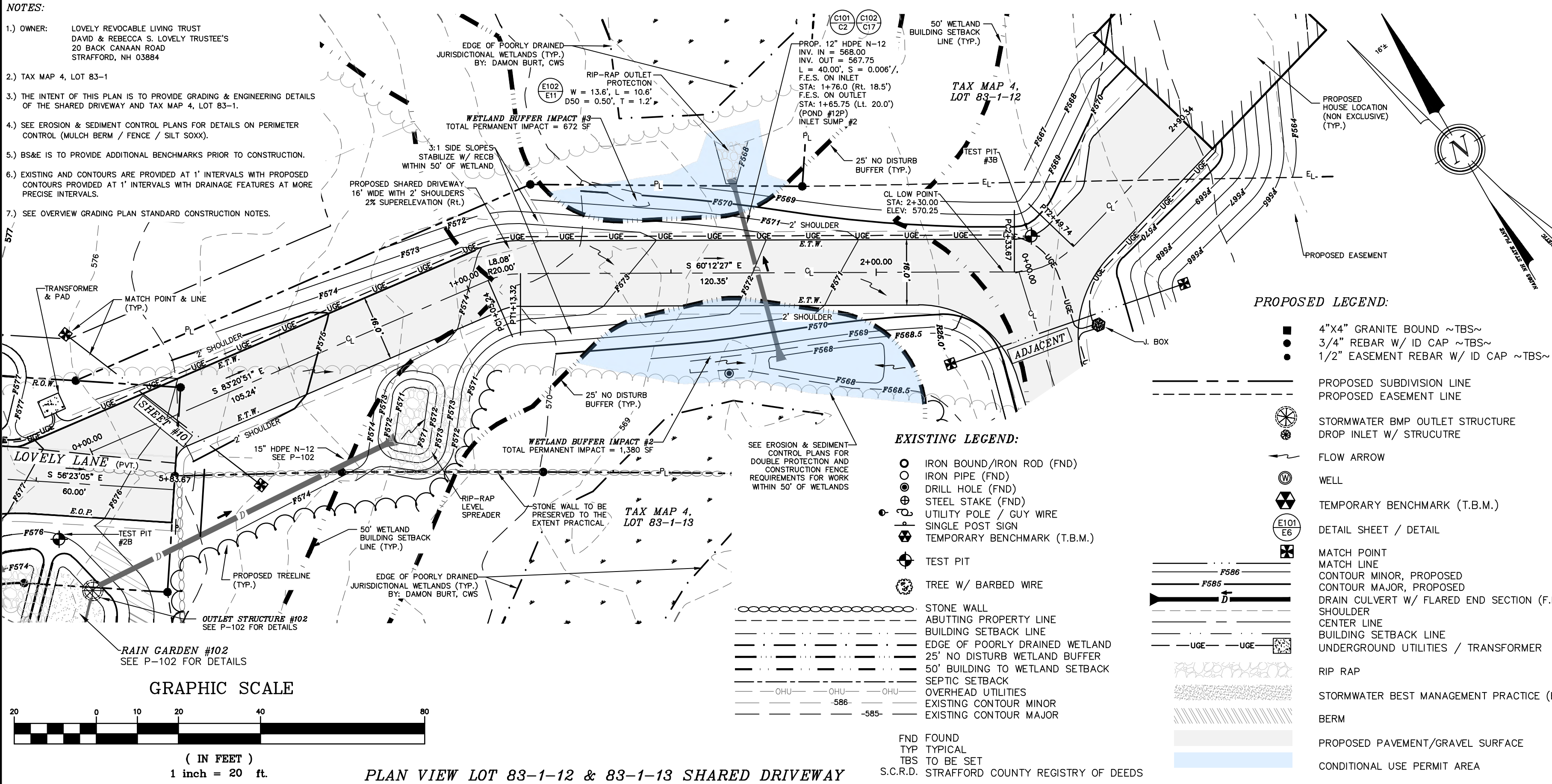
PLAN AND PROFILE LOVELY LANE 3+00 TO END
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024

KENNETH A. BERRY
No. 14243
PROFESSIONAL ENGINEER

NOTES:

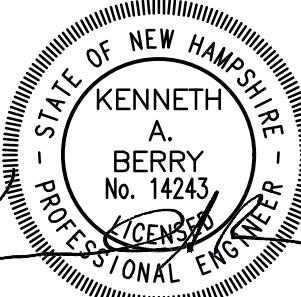
- 1.) OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
- 2.) TAX MAP 4, LOT 83-1
- 3.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING & ENGINEERING DETAILS OF THE SHARED DRIVEWAY AND TAX MAP 4, LOT 83-1.
- 4.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 5.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 6.) EXISTING AND CONTOURS ARE PROVIDED AT 1' INTERVALS WITH PROPOSED CONTOURS PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 7.) SEE OVERVIEW GRADING PLAN STANDARD CONSTRUCTION NOTES.



DESIGN REVISION	DESCRIPTION
#1	12-04-25

PLAN AND PROFILE LOT 83-1-12 & 88-1-13 DRIVEWAYS
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
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BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*

<u>SIEVE SIZE</u>	<u>% PASSING BY WEIGHT</u>
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

1-1/2" WASHED CRUSHED STONE*

<u>SIEVE SIZE</u>	<u>% PASSING BY WEIGHT</u>
2"	100
1-1/2"	90 - 100
1"	20 - 55
1/2"	0 - 15
3/8"	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

NOTES

WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.

1. SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.

2. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

3. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.

4. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS

1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.

2. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.

3. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRANDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.

4. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

1. UNH STORMWATER CENTER

2. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, FEBRUARY 2025 AS AMENDED.

CONSTRUCTION SEQUENCE NOTE:

EROSION, SEDIMENT AND DETENTION CONTROL FACILITIES SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. PRIOR CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED. SWALES CONVEYING RUNOFF TO STORMWATER BMPs WILL BE CONSTRUCTED AND PUT INTO SERVICE ONCE THE RECEIVING STORMWATER BMP IS STABILIZED. SEE DETAIL E14, SHEET E-102 FOR FULL CONSTRUCTION SEQUENCE.

RAIN GARDEN MIX

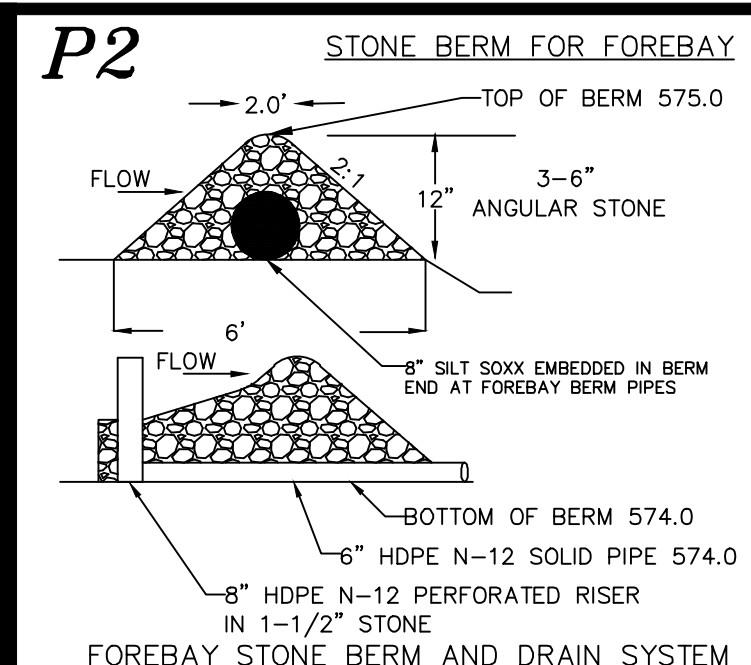
THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS" MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS; OR APPROVED EQUAL.

BIOMEDIA SURFACE PROTECTION NOTE:

SEE EROSION AND SEDIMENT CONTROL PLAN. IT IS RECOMMENDED THAT THE CONTRACTOR TAKE MEASURES TO PROTECT THE BIOMEDIA SURFACE FROM SEDIMENTATION CAUSED BY EROSION ON THE SIDE SLOPES.

STABILIZATION NOTE:

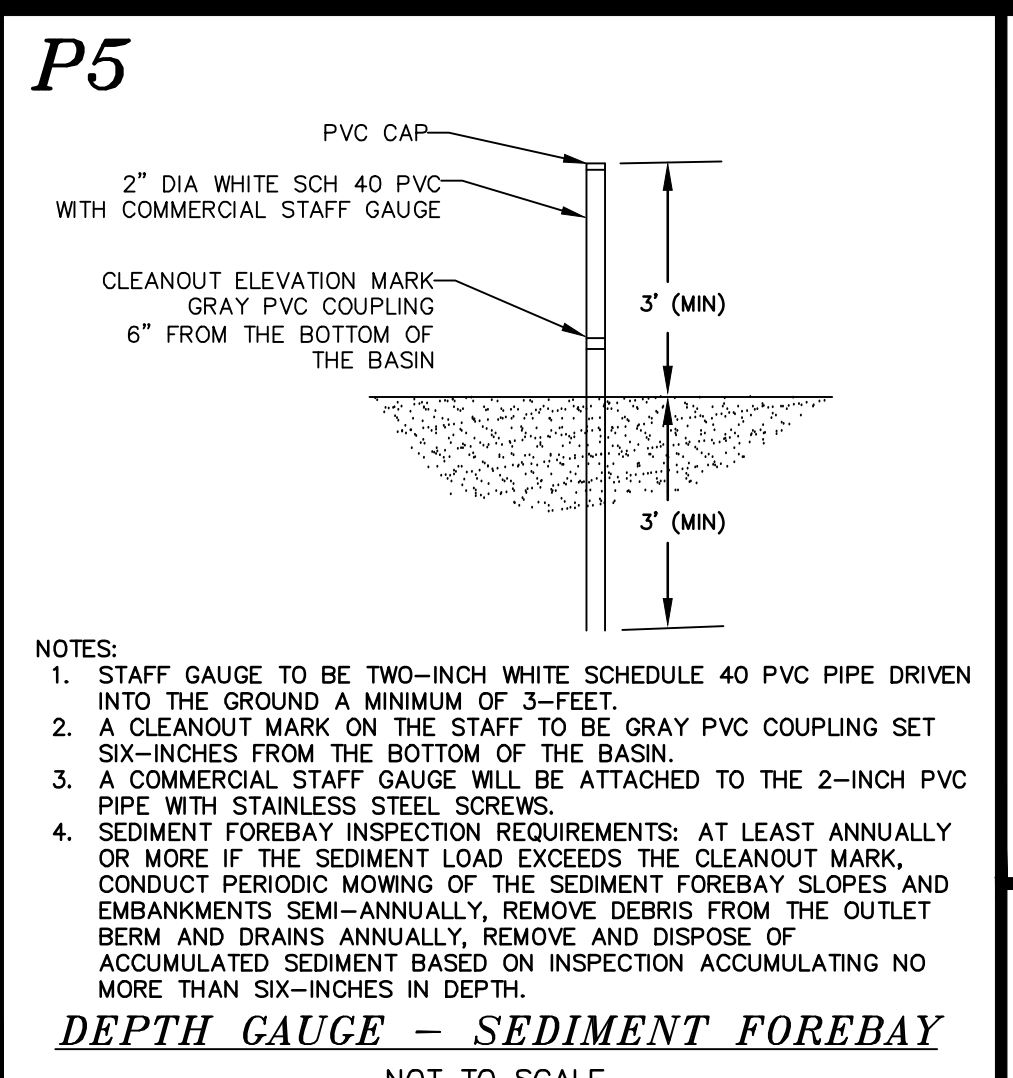
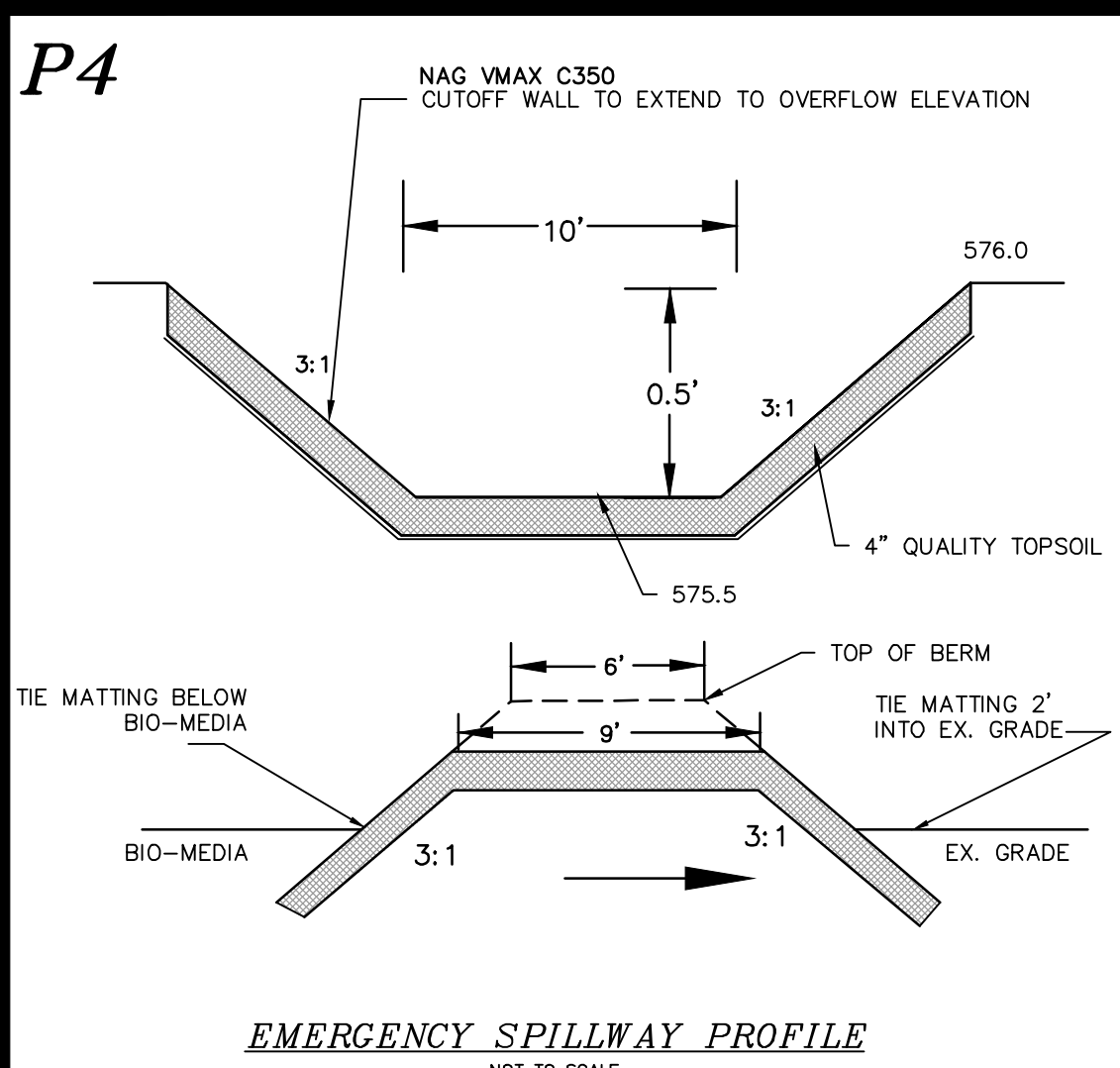
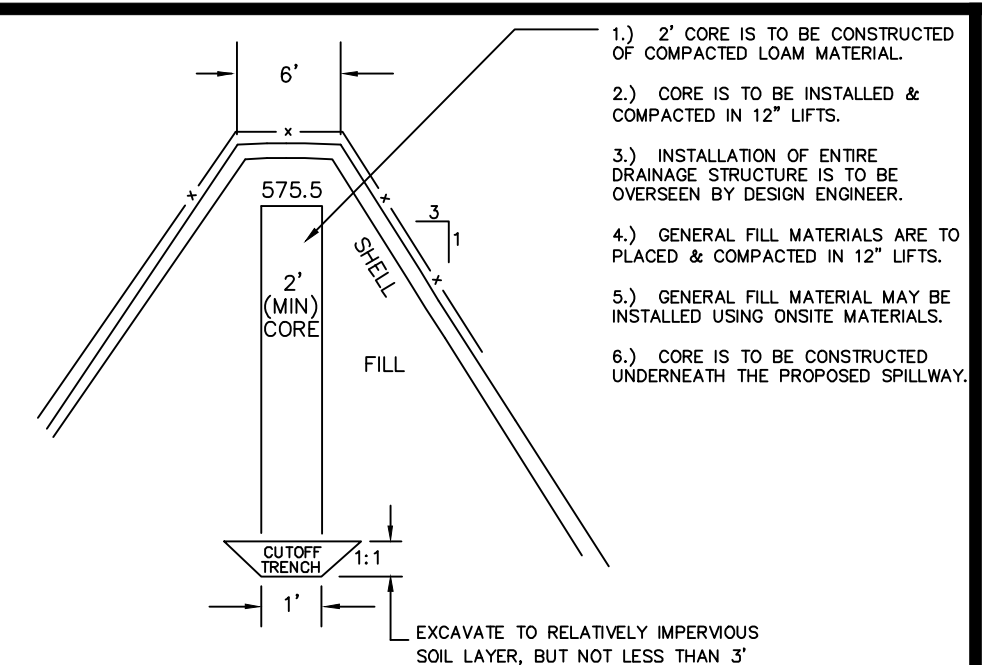
SEE NOTE #6, SHEET E-102, DETAIL E-15. SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE WORKING DAY UPON COMPLETION OF FINAL GRADE.



P3

LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



Rain Garden Grass Mix - ERNMIX-180-1

Botanical Name	Common Name	Price/Lb
40.40 % <i>Schizanthus scapularis</i> , Fort Indiantown Gap-PA Ecotype	Little Bluestem, Fort Indiantown Gap-PA Ecotype	14.65
20.00 % <i>Carex vulpinoidea</i> , PA Ecotype	Fox Sedge, PA Ecotype	31.20
20.00 % <i>Elymus virginicus</i> , Madison-NY Ecotype	Virginia Wildrye, Madison-NY Ecotype	10.46
9.00 % <i>Panicum clandestinum</i> , Tioga	Deertongue, Tioga	22.27
5.50 % <i>Panicum rigidulum</i> , PA Ecotype	Redtop Panicgrass, PA Ecotype	72.00
4.00 % <i>Chasmanthium latifolium</i> , WV Ecotype	River Oats, WV Ecotype	96.00
0.50 % <i>Carex scoparia</i> , PA Ecotype	Blunt Broom Sedge, PA Ecotype	96.00
0.30 % <i>Juncus effusus</i>	Soft Rush	48.00
0.30 % <i>Juncus tenuis</i> , PA Ecotype	Path Rush, PA Ecotype	48.00

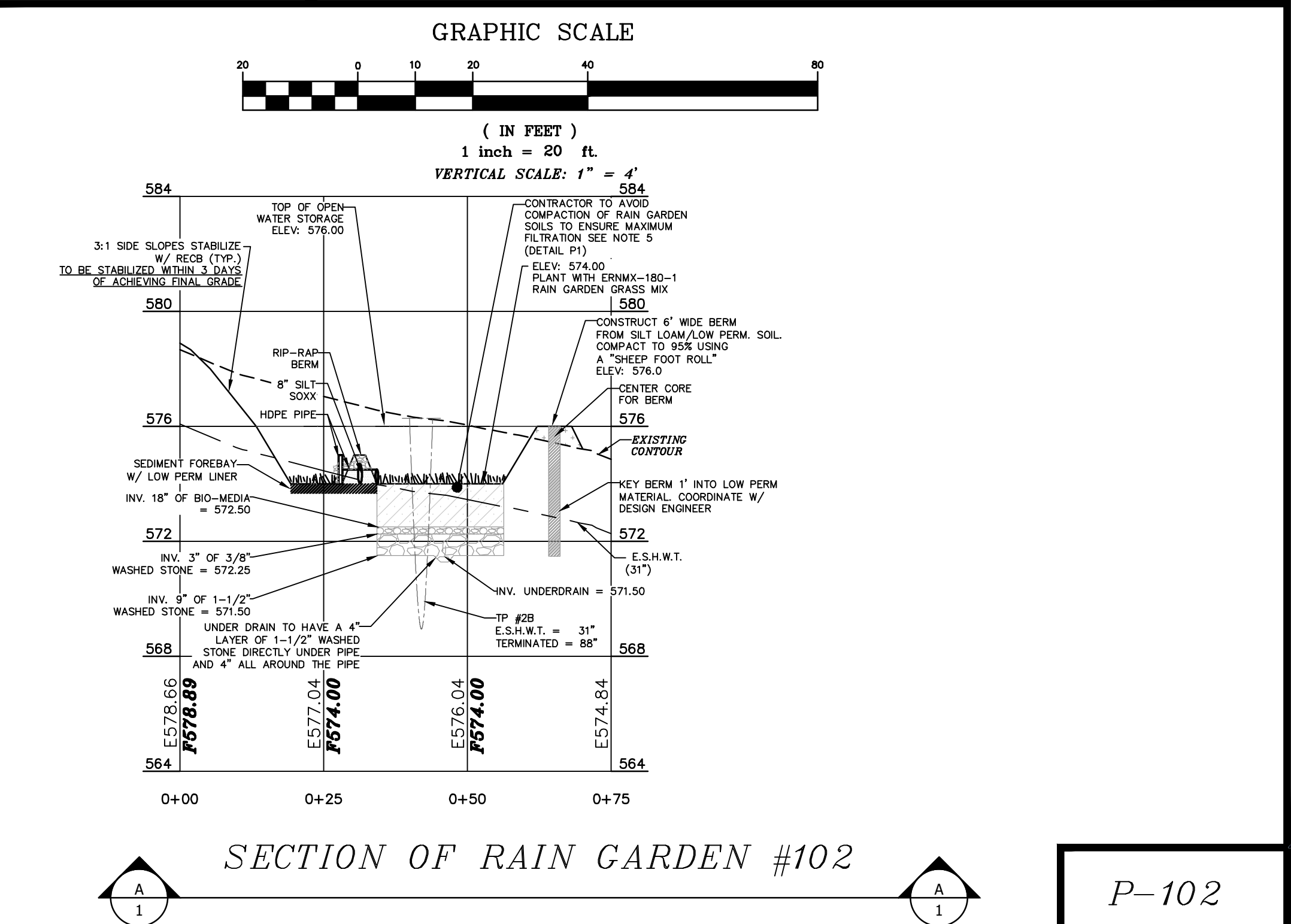
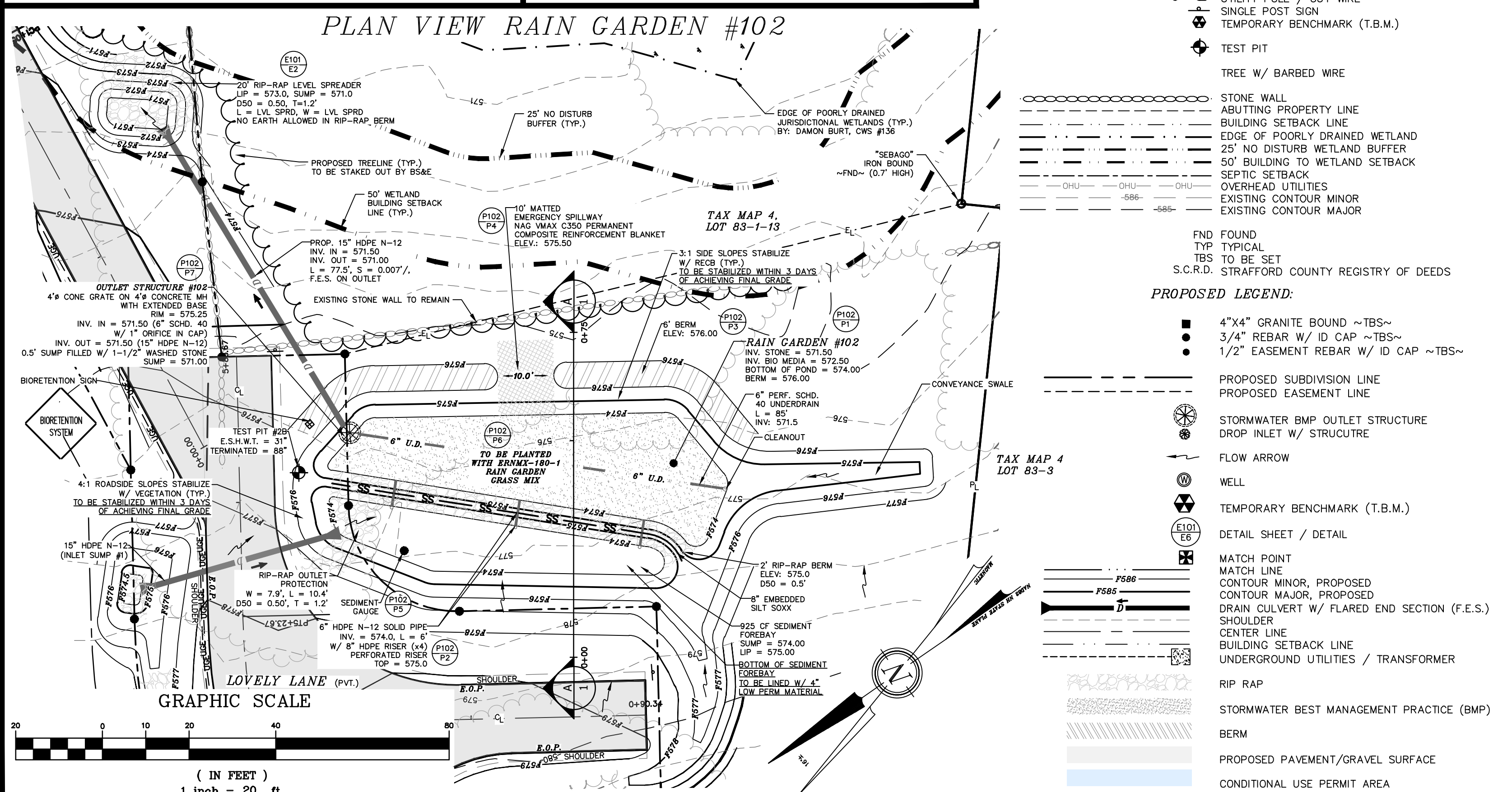
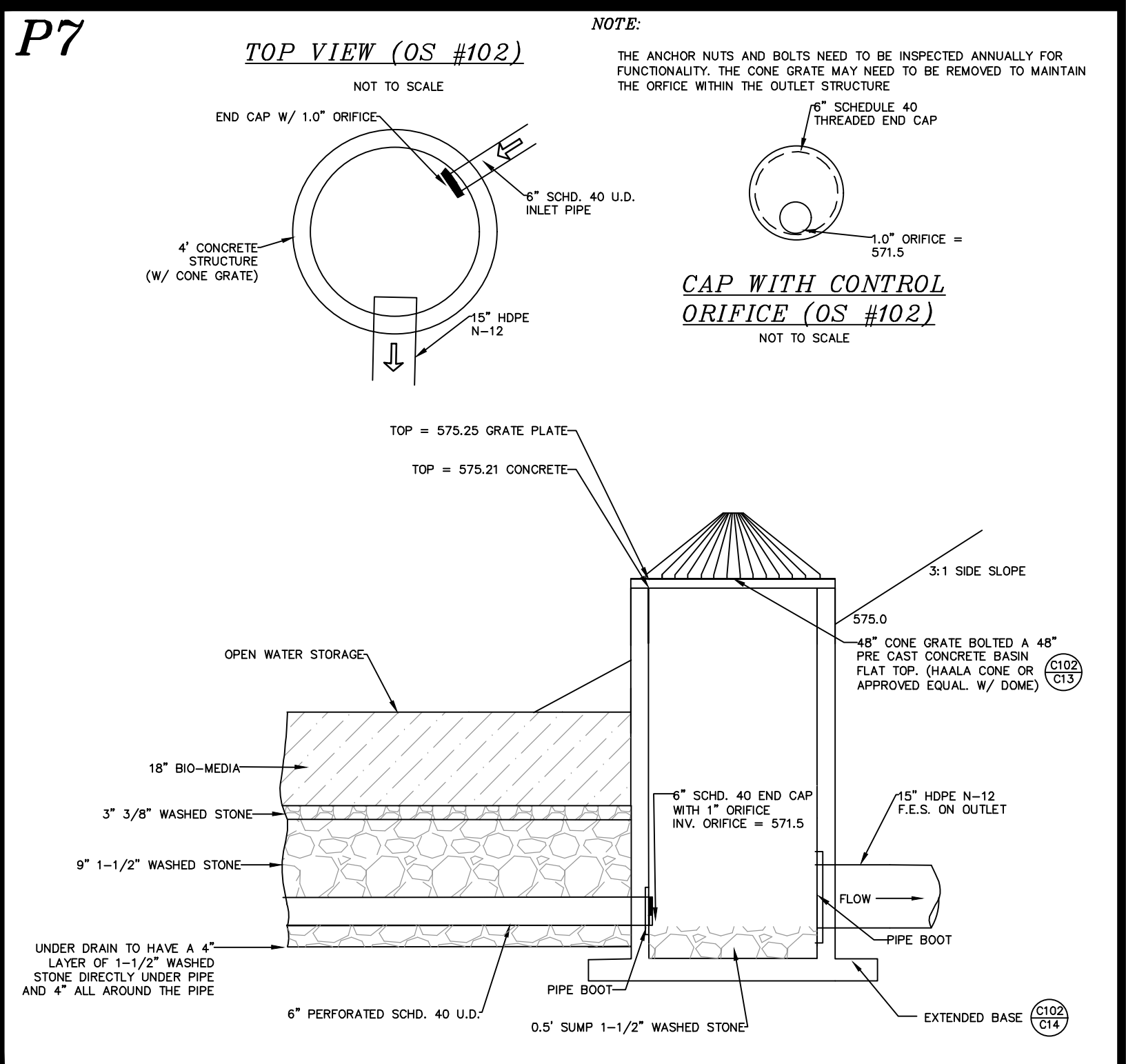
Seeding Rate: 15 lb per acre with a cover crop. For sites that drain within 24 hours of a rain event use one of the following cover crops: Oats (1 Jan to 31 Jul; 30 lbs/acre), Japanese Millet (1 May to 31 Aug; 10 lbs/acre), or grain rye (1 Aug to 31 Dec; 30 lbs/acre).

Grasses & Grass-like Species - Herbaceous Perennial; Stormwater Management

Mix Price/Lb Bulk: \$24.82

NOTE: TO BE USED FOR STORMWATER BMPs

BUTTERFLY MILK WEED IS A REQUIRED ADDITION TO ANY SEEDING DONE ON SITE.



DESIGN REVISION	DESCRIPTION
#1	12-04-25

RAIN GARDEN #102

LAND OF

LOVELY REVOCABLE LIVING TRUST

DAVID & REBECCA S. LOVELY TRUSTEES

20 BACK CANAAN ROAD

STRAFFORD, N.H.

TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. = 20 FT.

DATE : OCTOBER 14, 2025

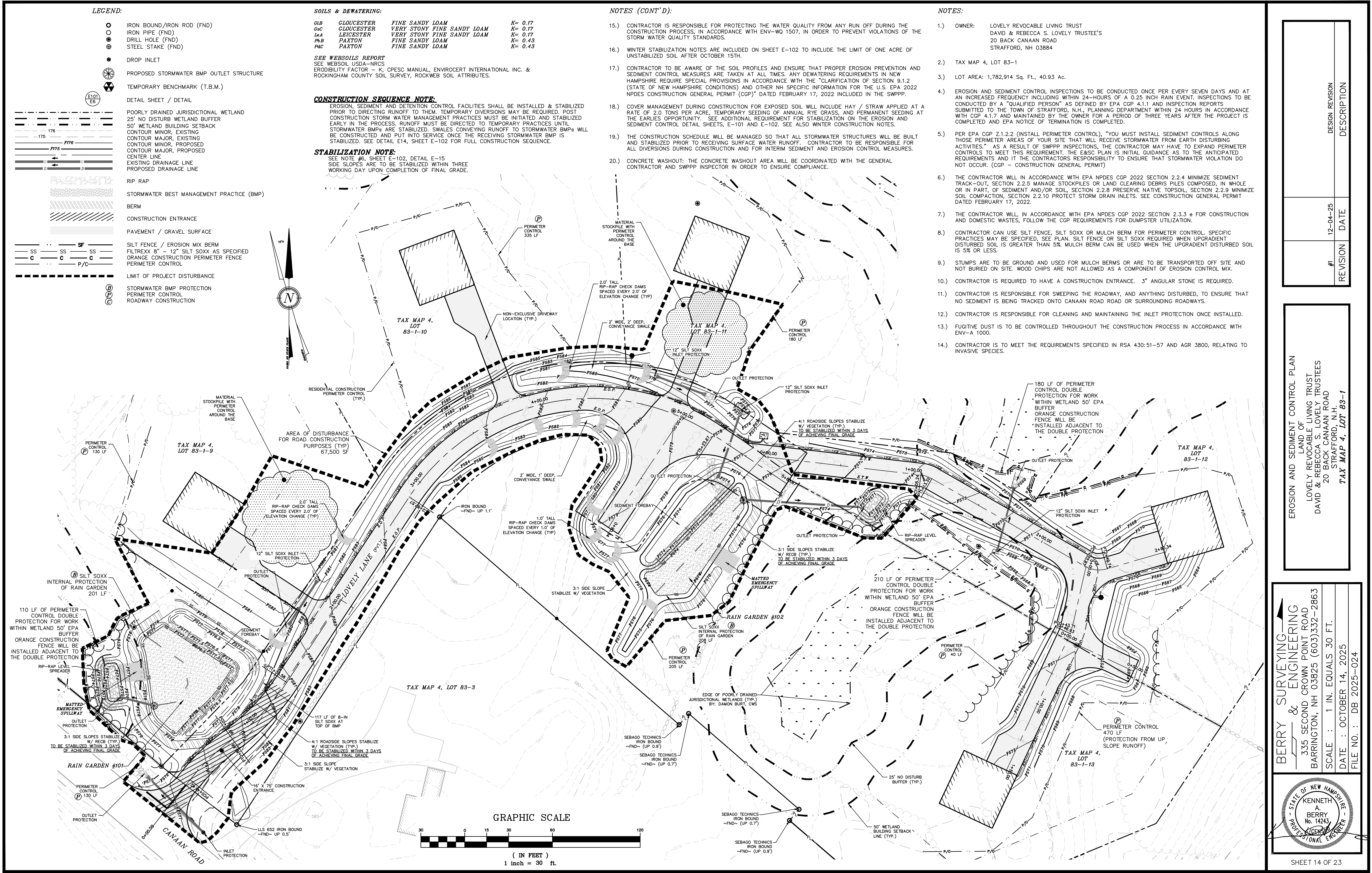
FILE NO. : DB 2025-024

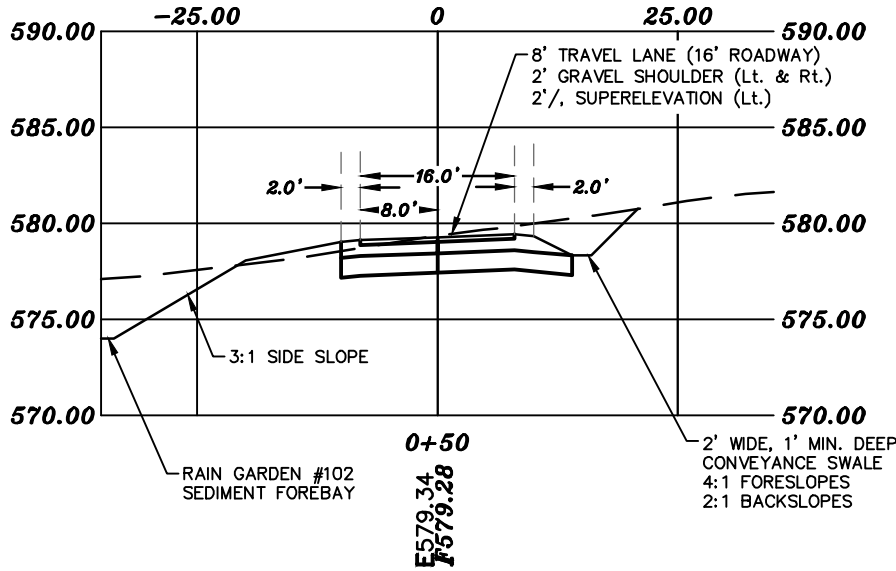
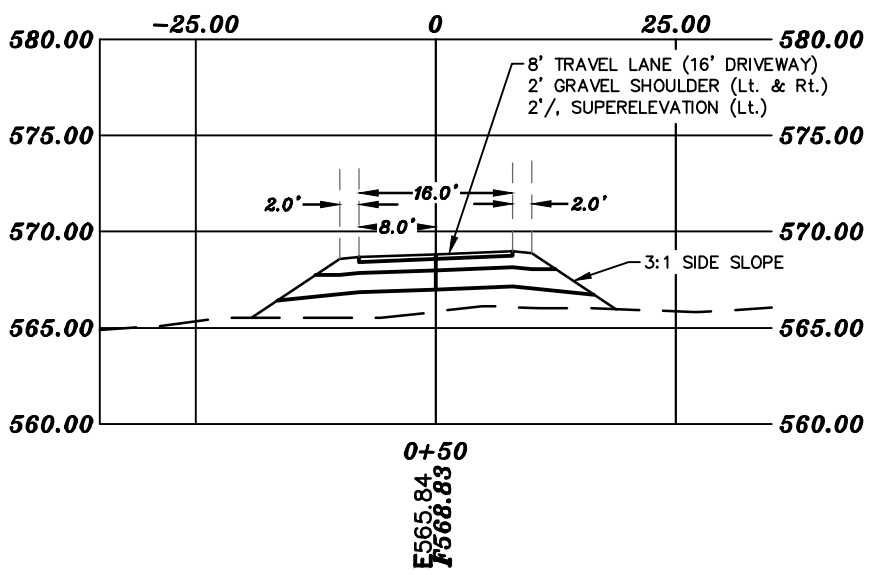
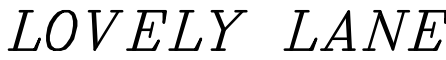
KENNETH A. BERRY

No. 14243

PROFESSIONAL ENGINEER

SHEET 13 OF 23





#1	12-04-25	DESIGN REVISION	
REVISION	DATE	DESCRIPTION	

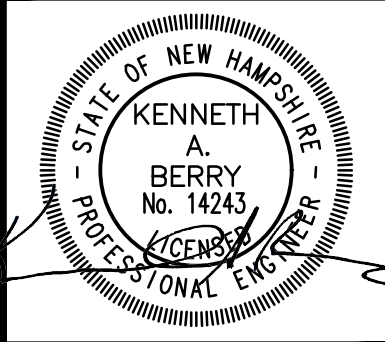
CROSS SECTIONS
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

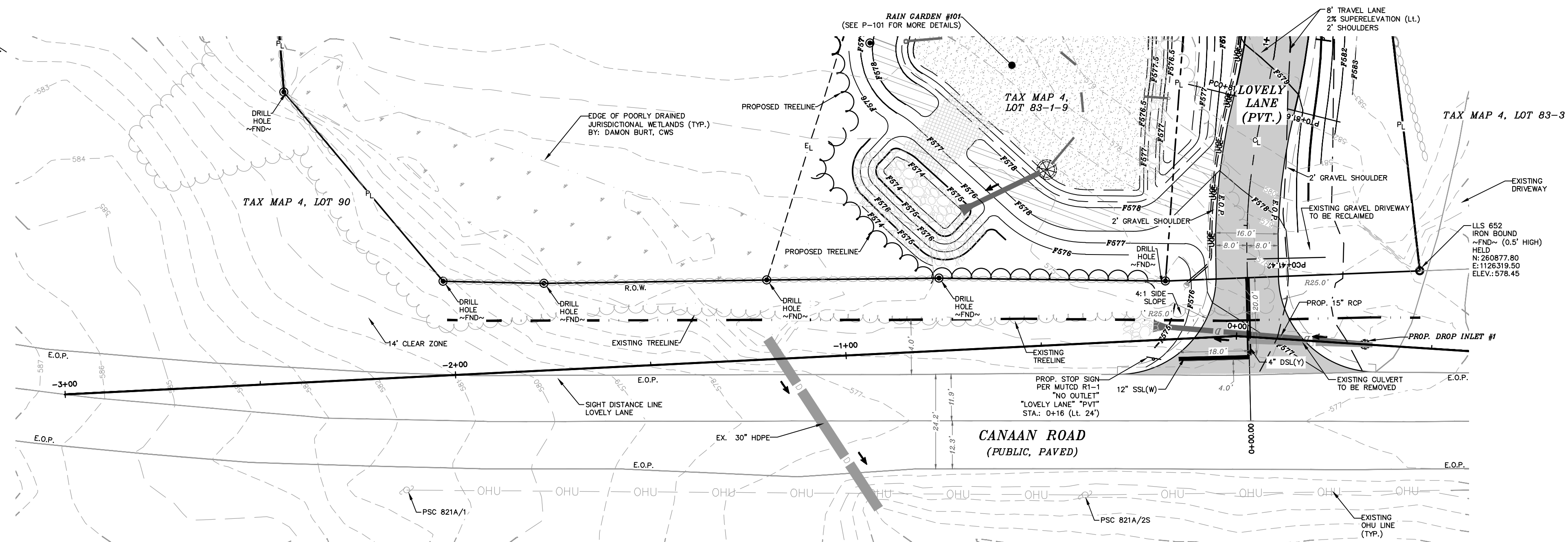
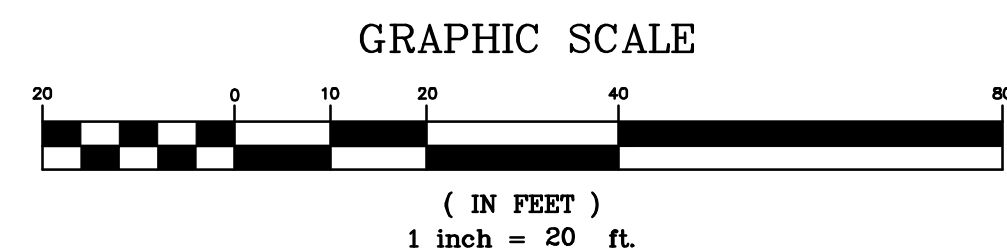
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DATE : OCTOBER 14, 2025

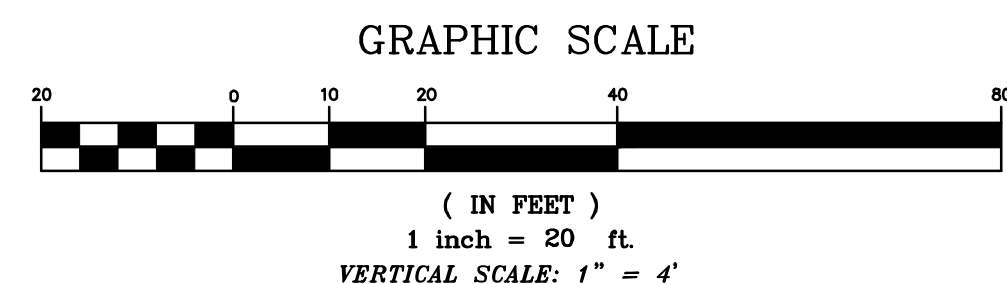
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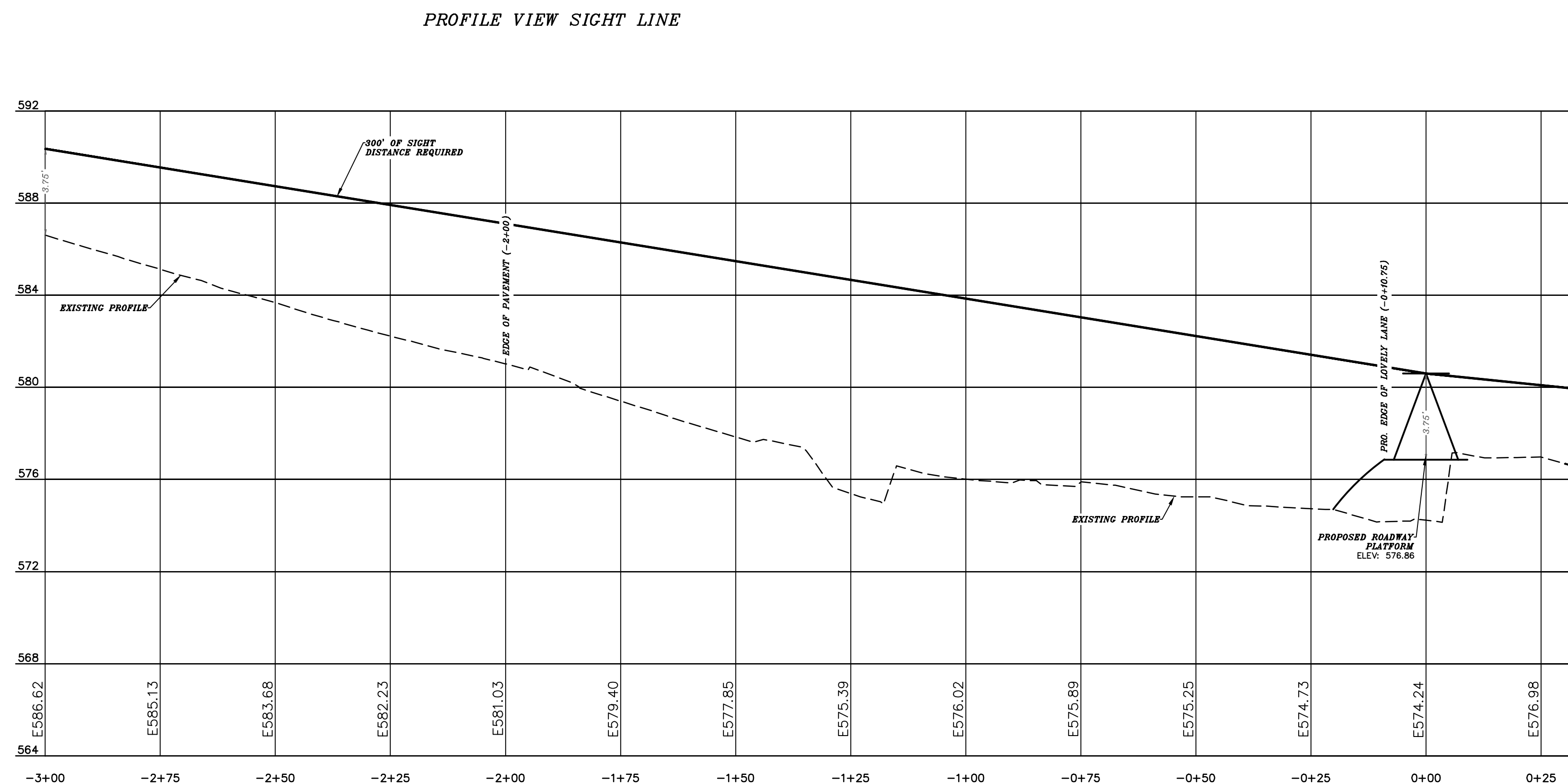
- 1.) OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
- 2.) TAX MAP 4, LOT 83-1
- 3.) LOT AREA: 1,781,113 Sq. Ft., 40.89 Ac.
- 4.) S.C.R.D. BOOK 4465, PAGE 702
- 5.) THIS IS A CONSERVATION SUBDIVISION.
- 6.) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE AVAILABLE SIGHT DISTANCE FROM THE PROPOSED ROADWAY KNOWN AS LOVELY LANE.
- 7.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 8.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.



PLAN VIEW LOVELY LANE LOOKING WEST ONTO CANAAN ROAD



DESIGN SPEED: 30 MPH / 85TH ASSUMED 40 MPH
WESTBOUND ASSUMED DESIGN ADT: 750-1,500
FROM AASHTO ROADSIDE DESIGN GUIDE (2018) TABLE 3.1 PAGE 3-6
CLEAR ZONE REQUIRED TO BE 12-14 FEET (1V:5H TO 1V:4H)
-14 FEET HAS BEEN SELECTED

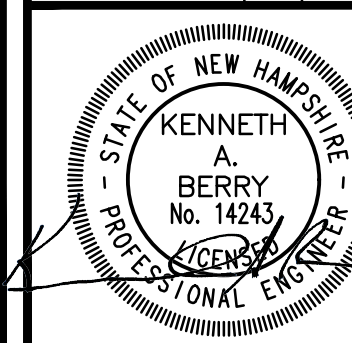


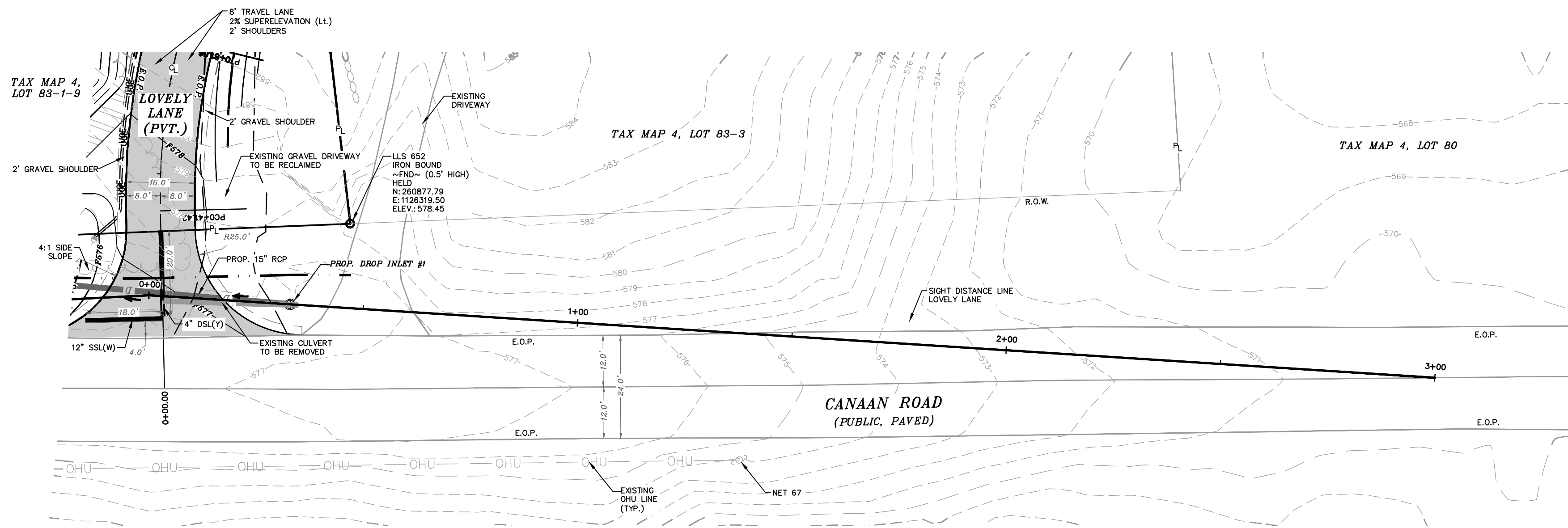
PROFILE VIEW SIGHT LINE

REVISION #1	DATE	DESCRIPTION
	12-04-25	DESIGN REVISION

SIGHT DISTANCE PLAN — LOVELY LANE LOOKING WEST
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

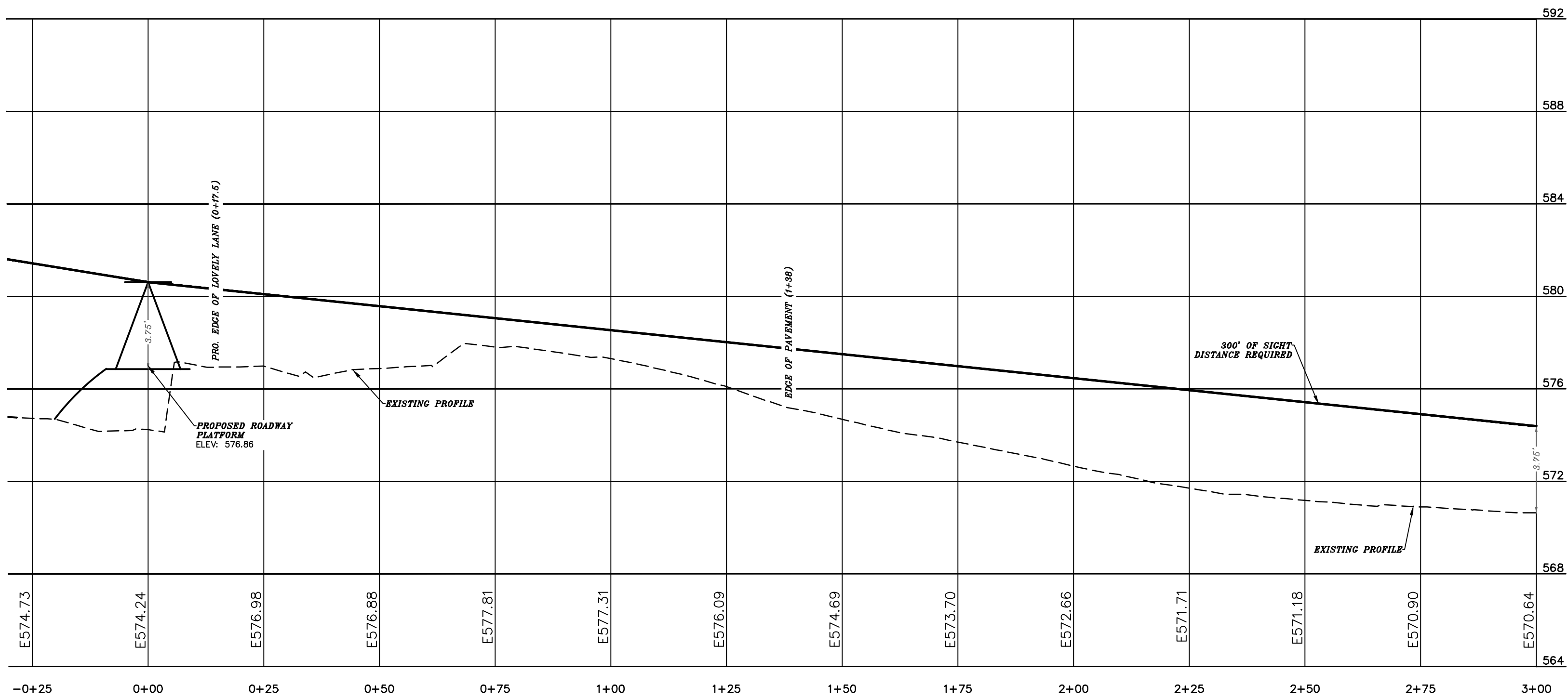
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603) 332-2880
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : OCTOBER 14, 2025
 FILE NO. : DB 2025-024





PLAN VIEW LOVELY LANE LOOKING EAST ONTO CANAAN ROAD

PROFILE VIEW SIGHT LINE



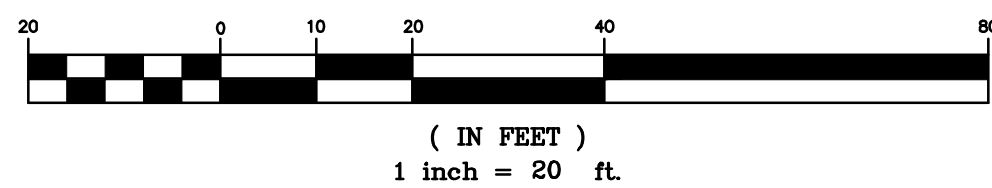
NOTES:

- 1.) OWNER: LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEE'S
20 BACK CANAAN ROAD
STRAFFORD, NH 03884
- 2.) TAX MAP 4, LOT 83-1
- 3.) LOT AREA: 1,781,113 Sq. Ft., 40.89 Ac.
- 4.) S.C.R.D. BOOK 4465, PAGE 702
- 5.) THIS IS A CONSERVATION SUBDIVISION.
- 6.) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE AVAILABLE SIGHT DISTANCE FROM THE PROPOSED ROADWAY KNOWN AS LOVELY LANE.
- 7.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 8.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.

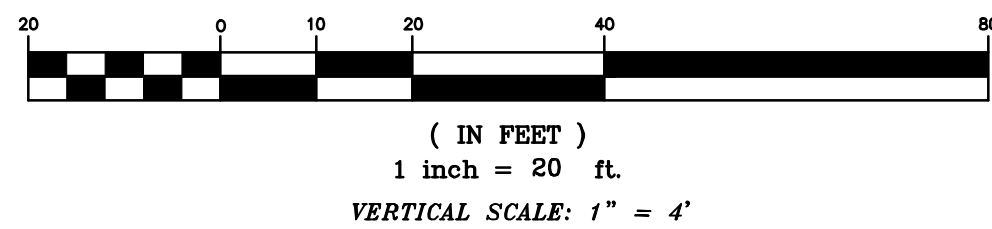
LEGEND:

- DRILL HOLE ~FND~
- IRON BOUND/REBAR ~FND~
- UTILITY POLE/GUY WIRE
- OVERHEAD UTILITY LINE
- CONTOUR MINOR, EXISTING
- CONTOUR MAJOR, EXISTING
- CONTOUR MINOR, PROPOSED
- CONTOUR MAJOR, PROPOSED
- STONE WALL
- TREELINE
- ROAD CENTERLINE
- SHOULDER
- CLEAR ZONE
- PROPOSED PAVEMENT
- FND FOUND
- TYP TYPICAL
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- R.O.W. RIGHT OF WAY
- E.O.P. EDGE OF PAVEMENT
- SSL (W/Y) SINGLE SOLID LINE (WHITE/YELLOW)
- DSL (Y) DOUBLE SOLID LINE (YELLOW)
- PL PROPERTY LINE
- EL PROPOSED EASEMENT LINE

GRAPHIC SCALE



GRAPHIC SCALE



CLEAR ZONE CALCULATION:

DESIGN SPEED: 30 MPH / 85TH ASSUMED 40 MPH
WESTBOUND ASSUMED DESIGN ADT: 750-1,500
FROM AASHTO ROADSIDE DESIGN GUIDE (2018) TABLE 3.1 PAGE 3-6
CLEAR ZONE REQUIRED TO BE 12-14 FEET (1V:5H TO 1V:4H)
-14 FEET HAS BEEN SELECTED

SD-2

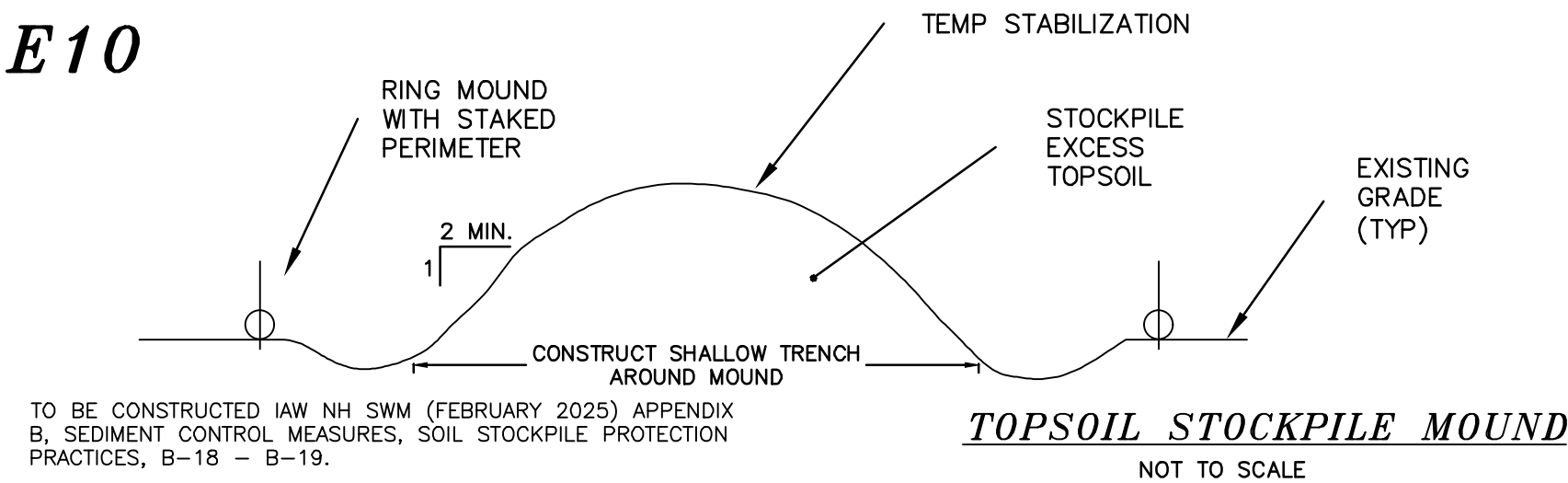
DESIGN REVISION	DATE	DESCRIPTION
#1	12-04-25	

SIGHT DISTANCE PLAN - LOVELY LANE LOOKING EAST
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, Lot 83-1

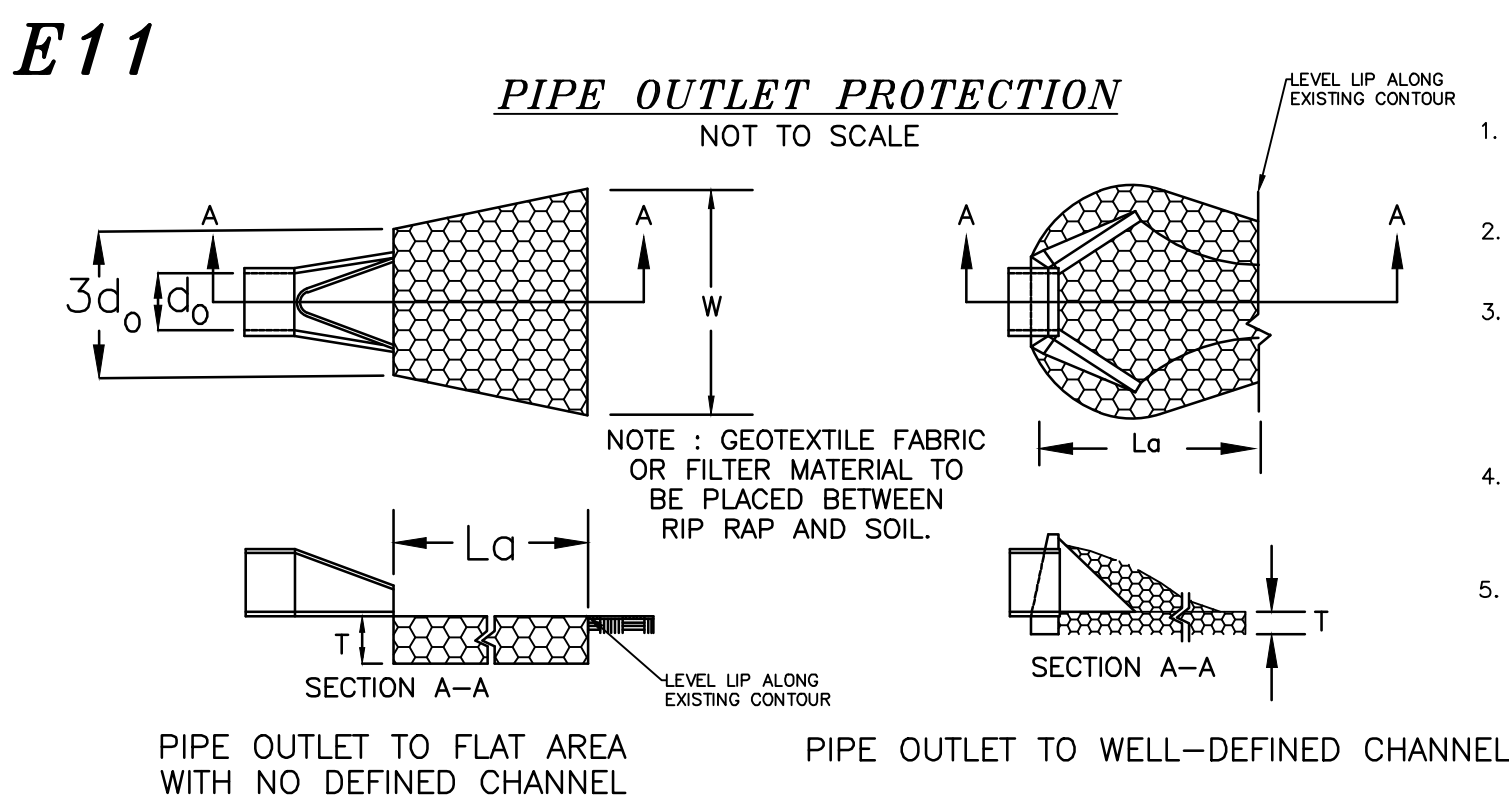
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024

KENNETH A. BERRY
No. 14243
PROFESSIONAL ENGINEER - CIVIL

E10



E11



PIPE OUTLET PROTECTION
CONSTRUCTION SPECIFICATIONS

1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS. SPECIFIED GRADATION.
2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO NHDOT SECTION 583.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. TO BE CONSTRUCTED IAW NH SWM (FEBRUARY 2025) APPENDIX A, STRUCTURAL CONVEYANCE, PERMANENT OUTLET PROTECTION, A-127 - A-131.

E12

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES			
450 SIZE=	0.5 FEET	6 INCHES	
% OF WEIGHT SMALLER THAN THE GIVEN 450 SIZE	SIZE OF STONE (INCHES) FROM	TO	
100%	9	12	
85%	8	11	
50%	6	9	
15%	2	3	

New England Conservation/Wildlife Mix

Botanical Name	Common Name	Indicator
<i>Elymus virginicus</i>	Virginia Wild Rye	FACW-
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU-
<i>Andropogon gerardi</i>	Big Bluestem	FAC
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Sorghastrum nutans</i>	Indian Grass	UPL
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Desmodium canadense</i>	Showy Tick Trefoil	FAC
<i>Asclepias tuberosa</i>	Butterfly Milkweed	NI
<i>Rudum frondosa</i>	Beggar Ticks	FACW
<i>Eupatorium purpureum (Eupatorium maculatum)</i>	Purple Joe Pye Weed	FAC
<i>Rudbeckia hirta</i>	Black Eyed Susan	FACU-
<i>Aster pilosus (Symphyotrichum pilosum)</i>	Heath (or Hairy) Aster	UPL
<i>Solidago juncea</i>	Early Goldenrod	

CONSERVATION MIX TO BE PROVIDED BY:
NEW ENGLAND WETLAND PLANTS, INC. OR
APPROVED EQUAL

NOTE: CONSERVATION MIX TO
BE USED ON ALL 2:1 SLOPES
LINED WITH RECB OR WITHIN 50'
OF A WETLAND.

NOTE: Temporary seed mix for stabilization
of turf shall be winter rye or oats at a
rate of 2.5 lbs. per 1000 s.f. and shall
be placed prior to OCT. 15, if permanent
seeding not yet complete.

SEEDING GUIDE				
USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD
	B	POOR	GOOD	GOOD
	C	POOR	GOOD	GOOD
	D	FAIR	EXCELLENT	EXCELLENT
	E	FAIR	EXCELLENT	EXCELLENT
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD
	B	GOOD	EXCELLENT	EXCELLENT
	C	GOOD	EXCELLENT	EXCELLENT
	D	GOOD	EXCELLENT	EXCELLENT
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD
	B	GOOD	GOOD	GOOD
	C	GOOD	EXCELLENT	EXCELLENT
	D	GOOD	EXCELLENT	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS. TOPSOIL IS ESSENTIAL FOR GOOD TURF.	F	FAIR	EXCELLENT	EXCELLENT
	G	FAIR	EXCELLENT	EXCELLENT
GRAVEL PIT, SEE NH-FM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.				
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.				
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.				

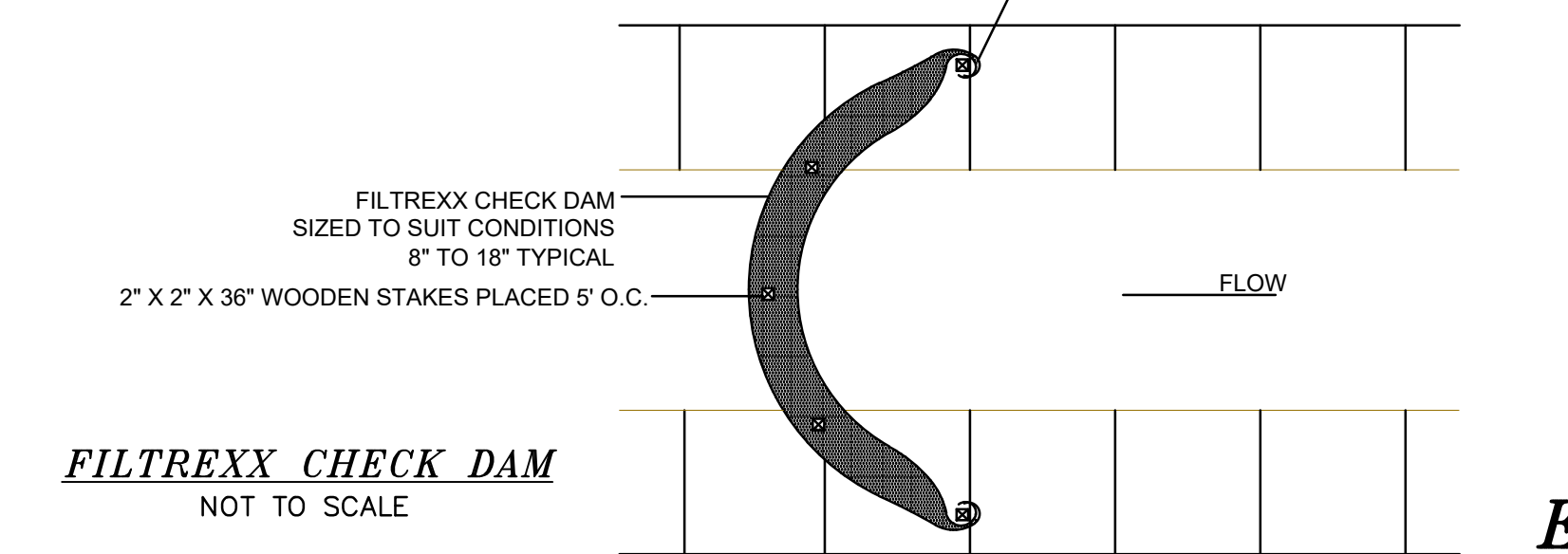
SEEDING RATES		
MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A. TALL FESCUE	20	0.45
B. CREEPING RED FESCUE	20	0.45
C. RED TOP	42	0.95
D. TALL FESCUE	15	0.35
E. CREEPING RED FESCUE	15	0.35
F. CROWN VETCH	15	0.35
G. FLAT PEA	30	0.75
H. TOTAL	40 OR 55	0.95 OR 1.35
I. TALL FESCUE	24	0.55
J. CREEPING RED FESCUE	24	0.55
K. BIRDS FOOT TREFOIL	42	0.95
L. TOTAL	48	1.10
M. TALL FESCUE	20	0.45
N. FLAT PEA	30	0.75
O. TOTAL	50	1.20
P. CREEPING RED FESCUE	50	1.15
Q. KENTUCKY BLUEGRASS 1/	50	1.15
R. TOTAL	100	2.30
S. TALL FESCUE 1	150	3.60

*

1. RAIN GARDEN AREA TO BE PLANTED WITH ERNMX-180-1 RAIN GARDEN MIX.
2. BUTTERFLY MILK WEED IS A REQUIRED ADDITION TO ANY SEEDING DONE ON SITE.

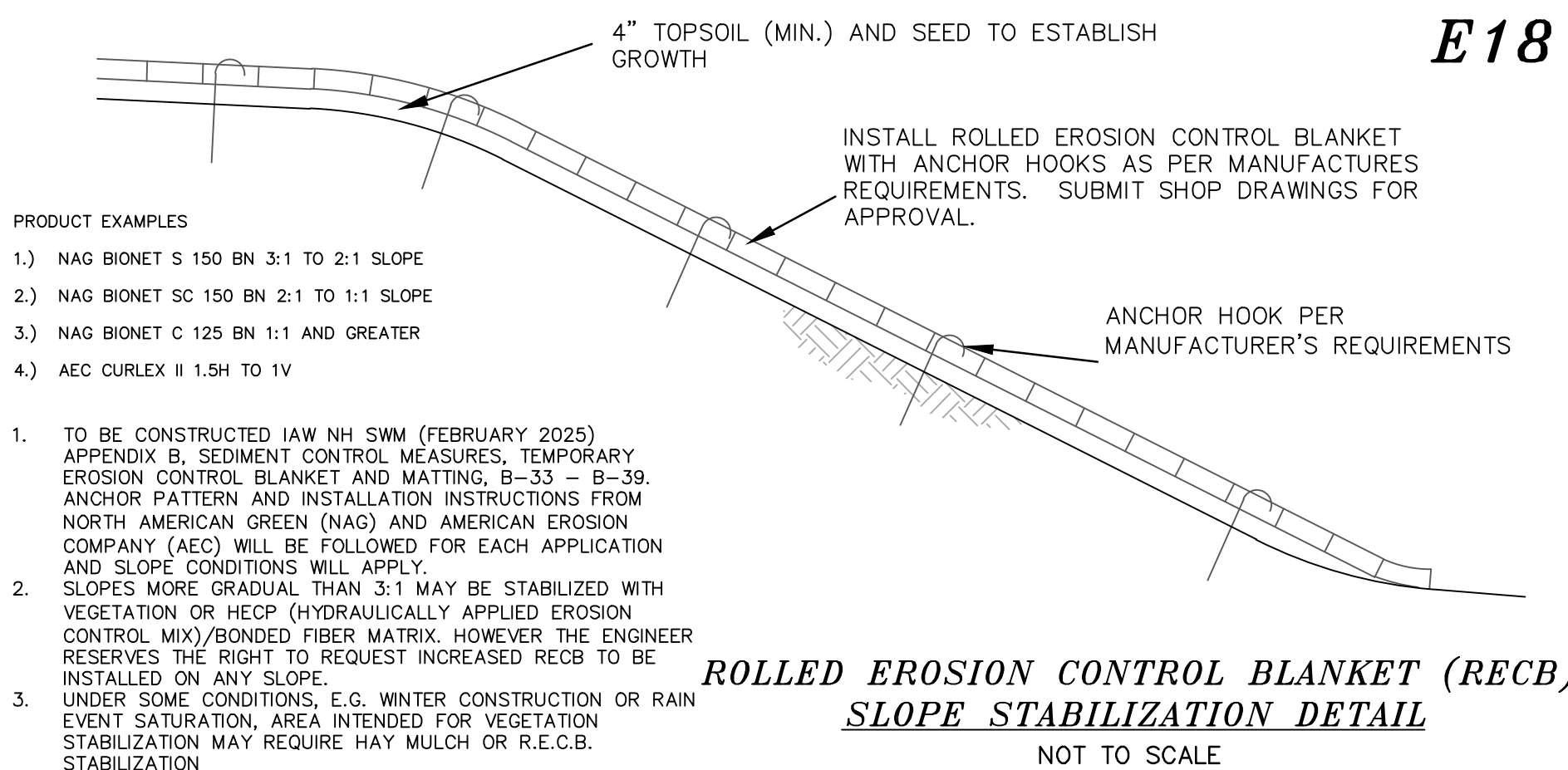
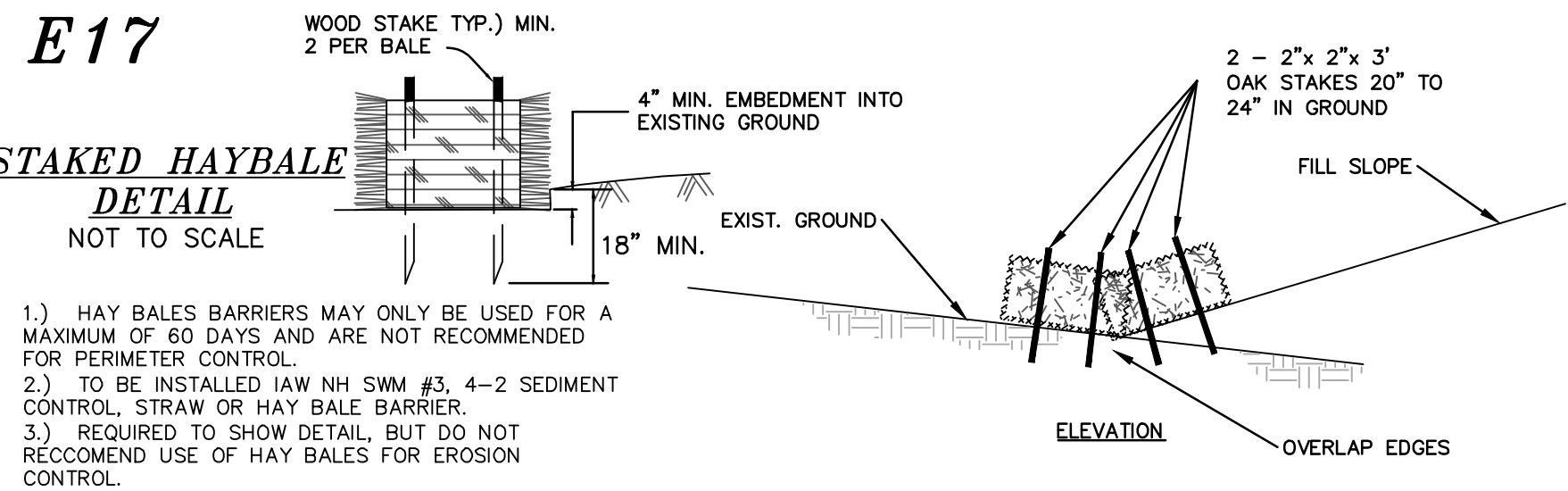
NOTES:

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. CHECK DAM SHOULD BE USED IN AREAS THAT DRAIN 1 ACRE OR LESS.
3. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
4. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
5. CONTRACTOR IS REQUIRED TO BE A FILTREXX CERTIFIED INSTALLER.



E16

E17



E18

E15 DEFINITION OF STABLE:

PER ENV-WQ 1500 ALTERATION OF TERRAIN

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
2. A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED..
3. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:

5. HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
6. DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED, IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

E19

WINTER STABILIZATION
NOTES

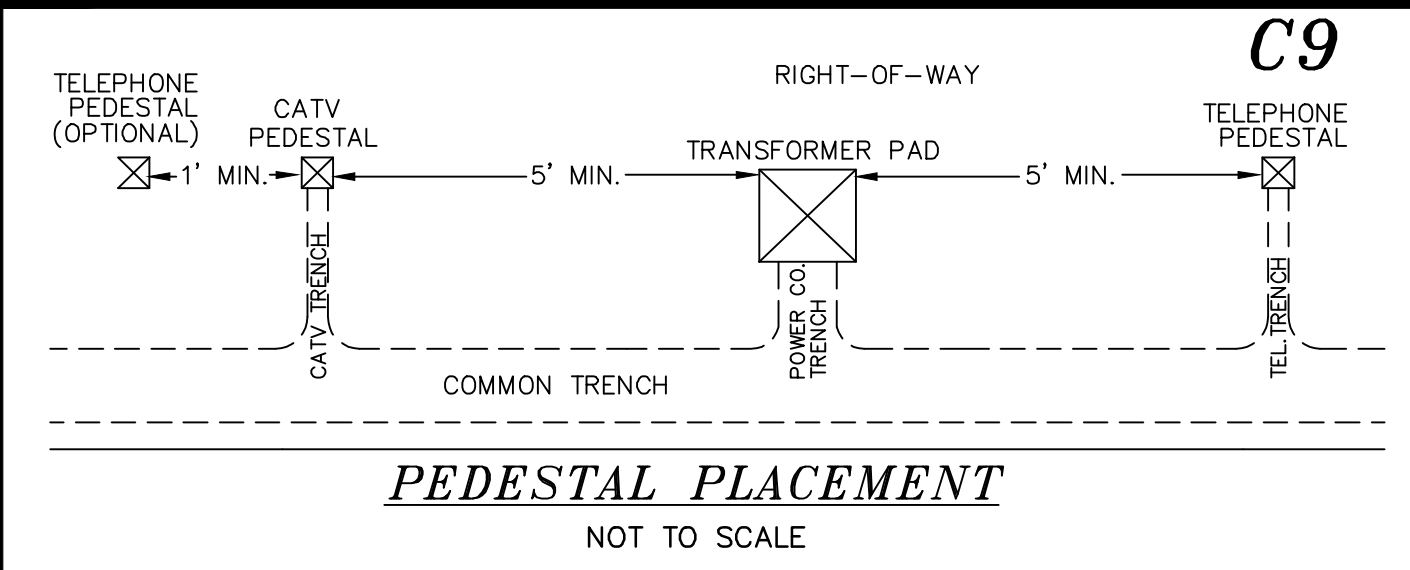
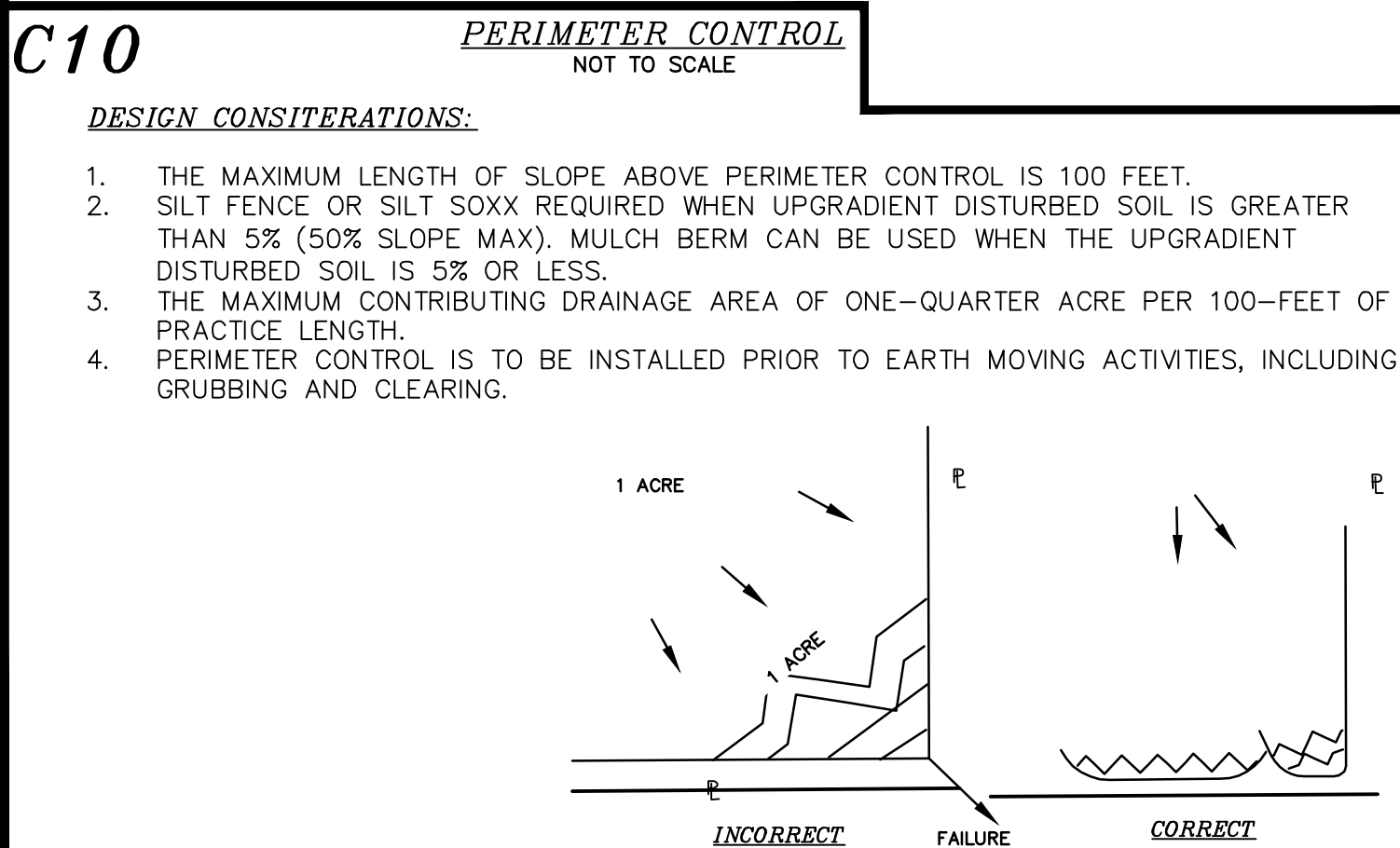
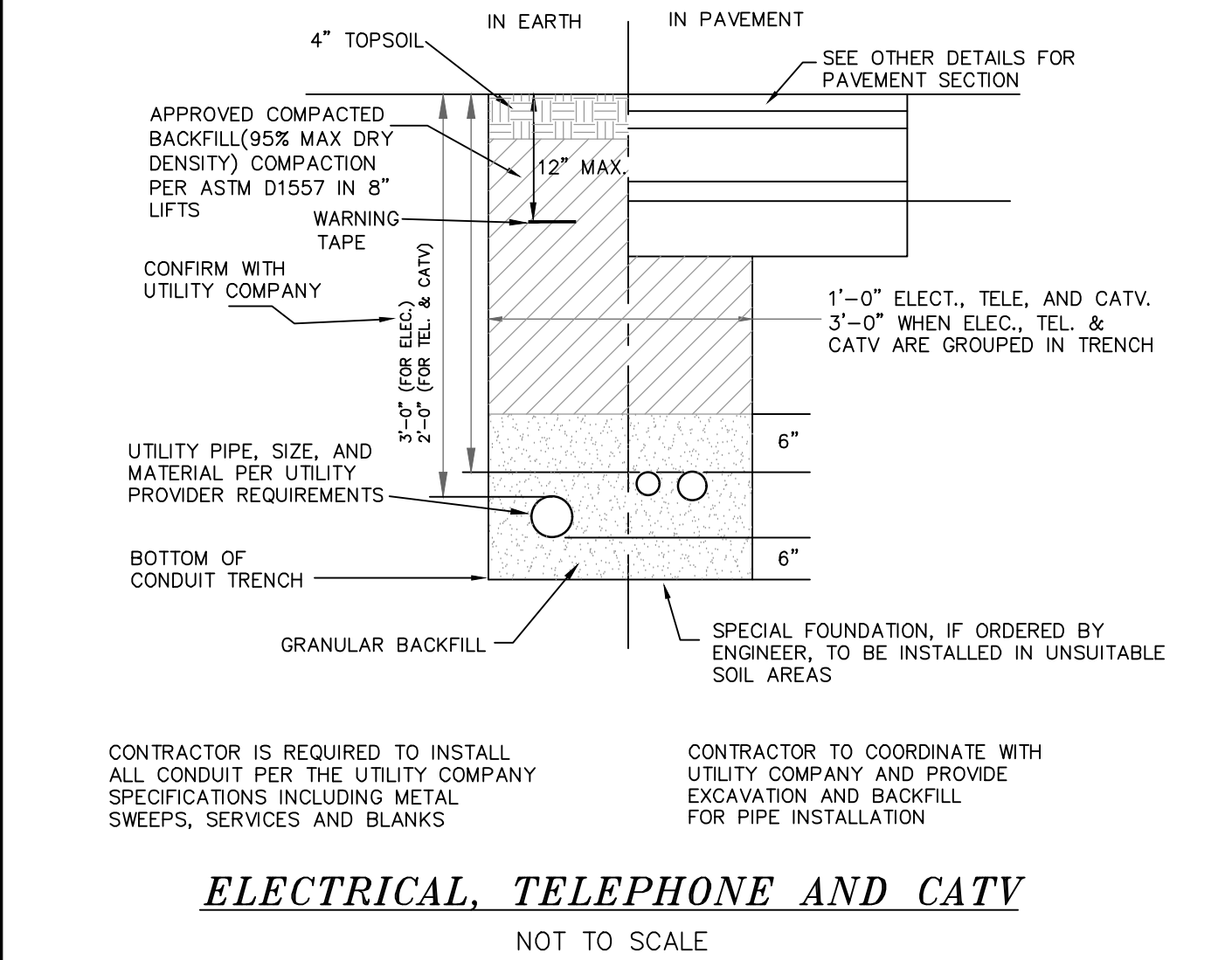
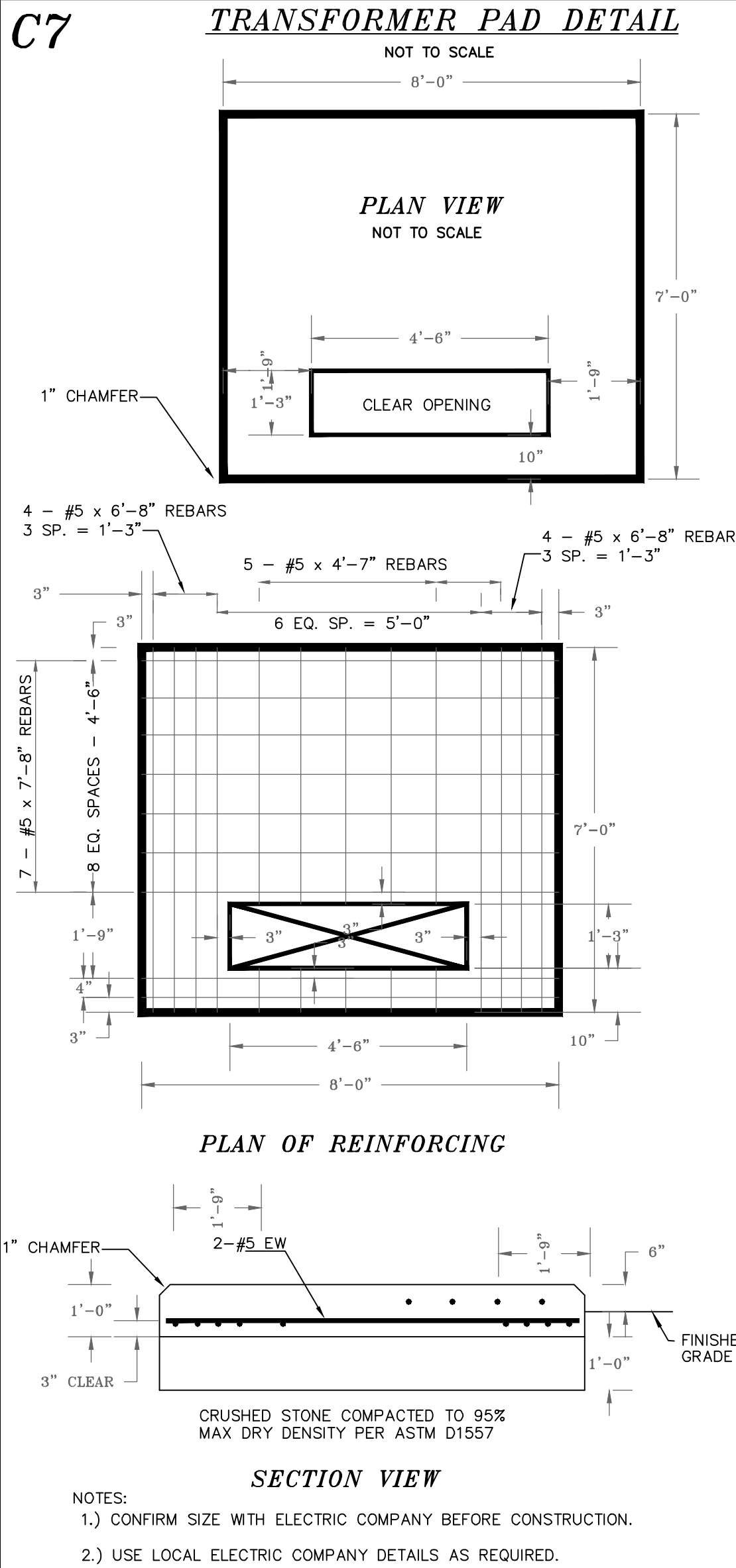
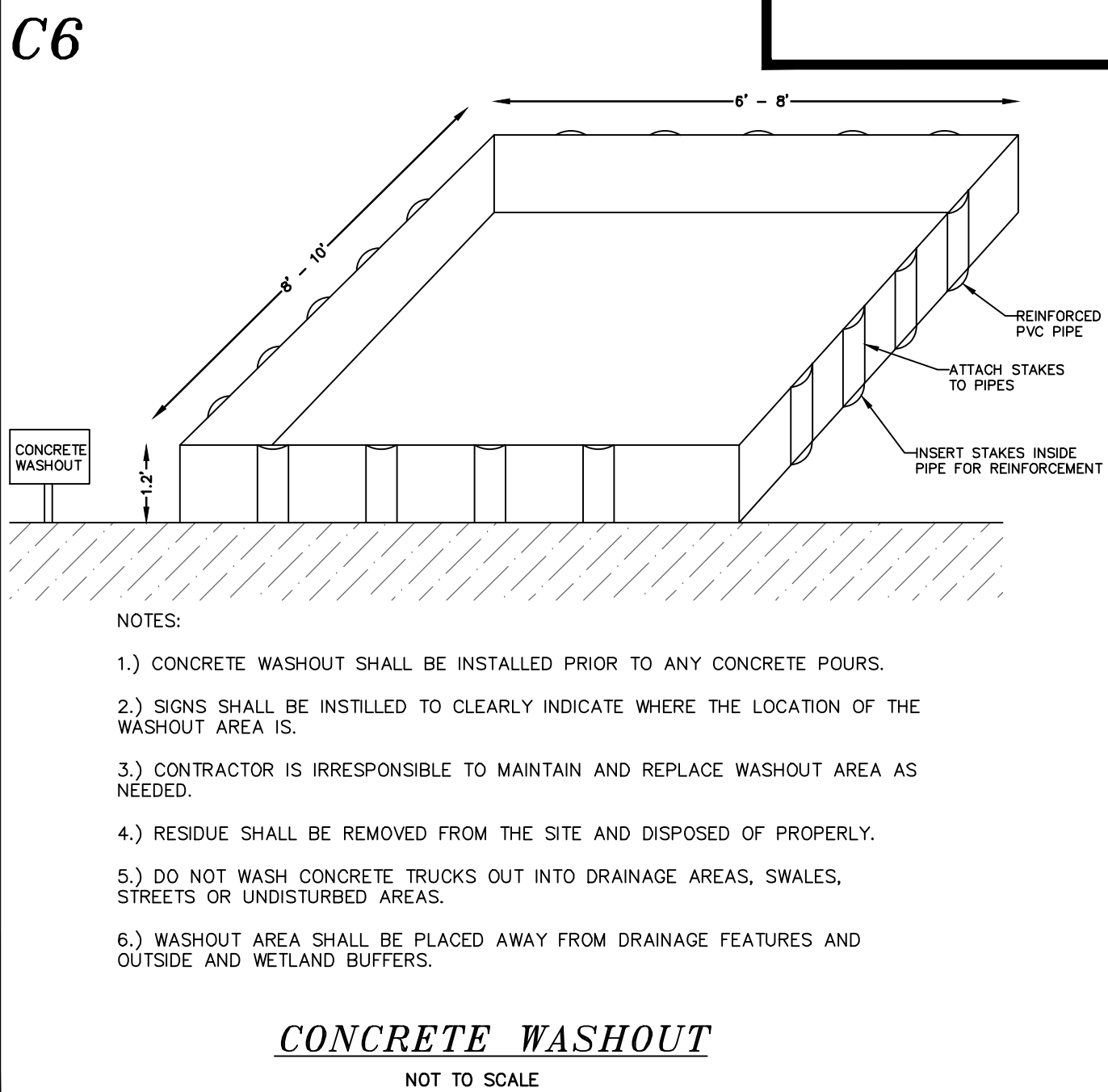
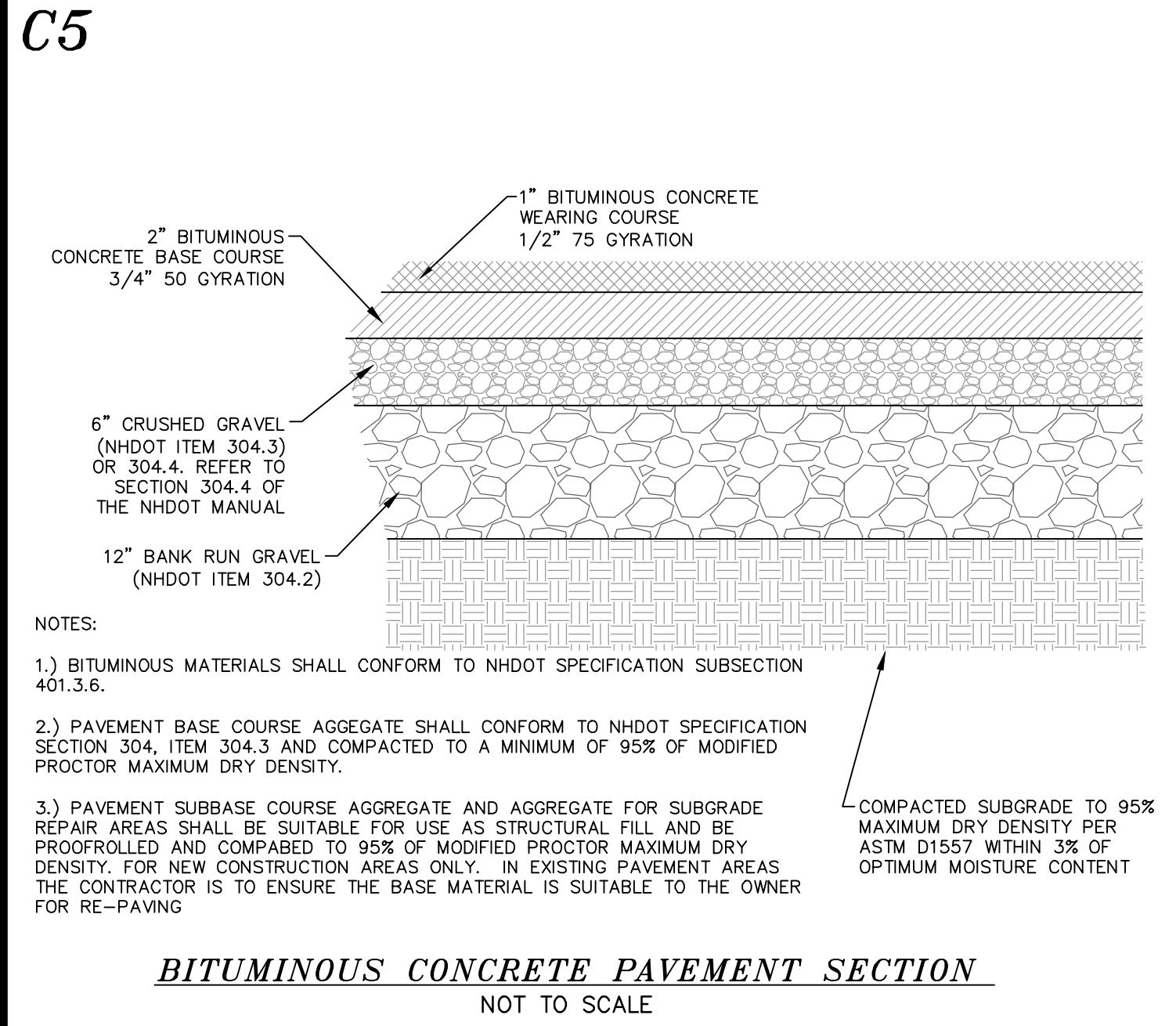
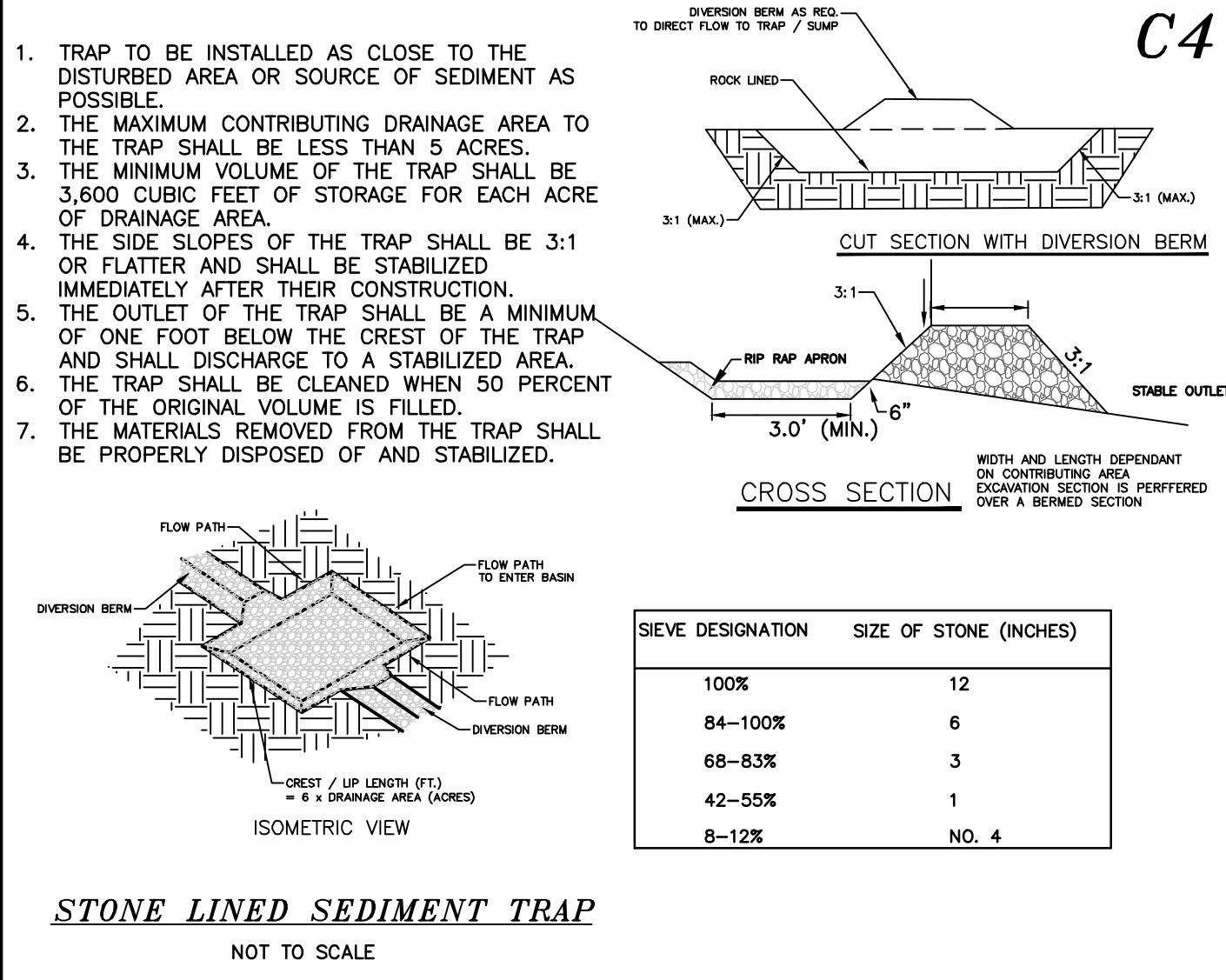
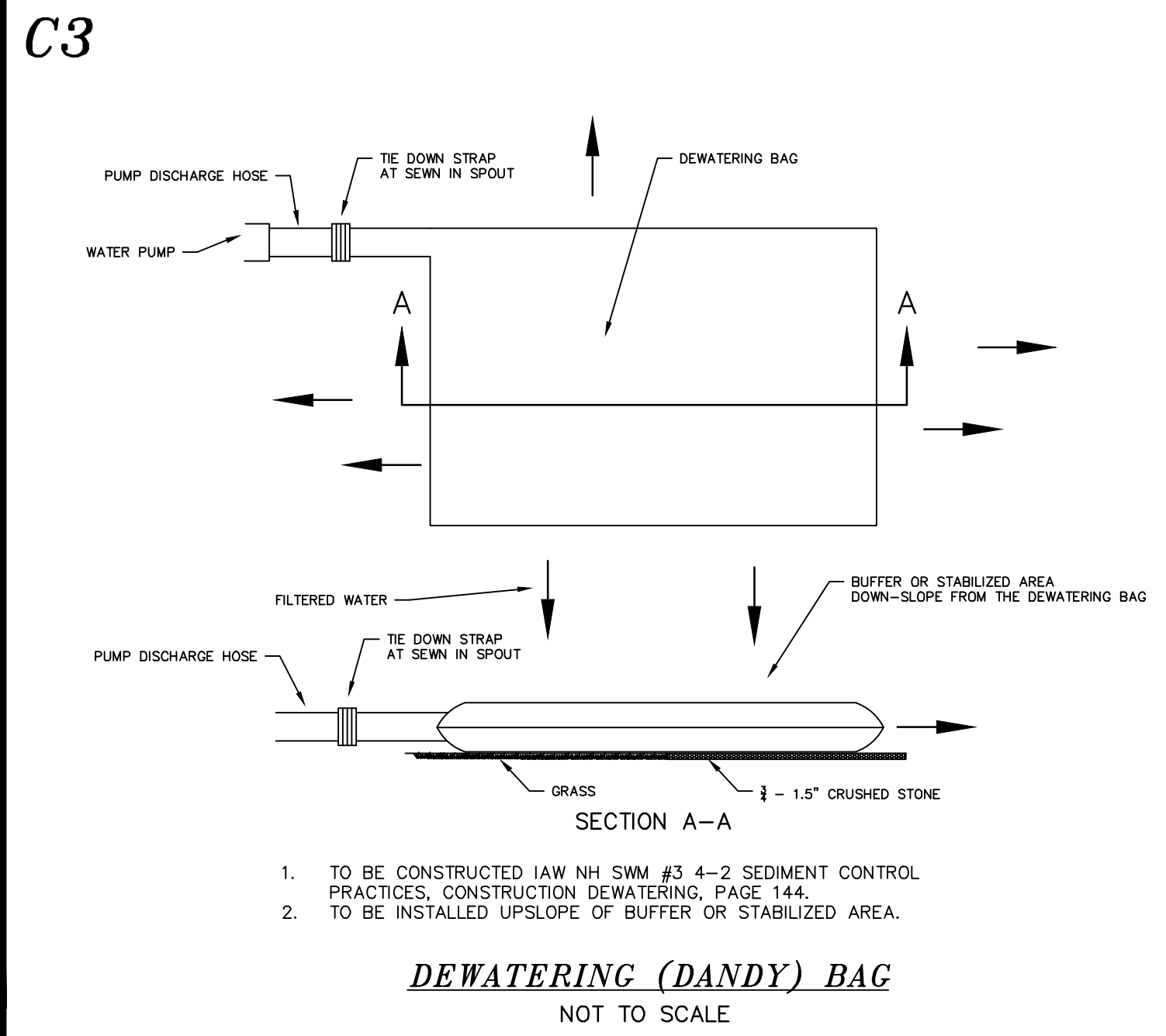
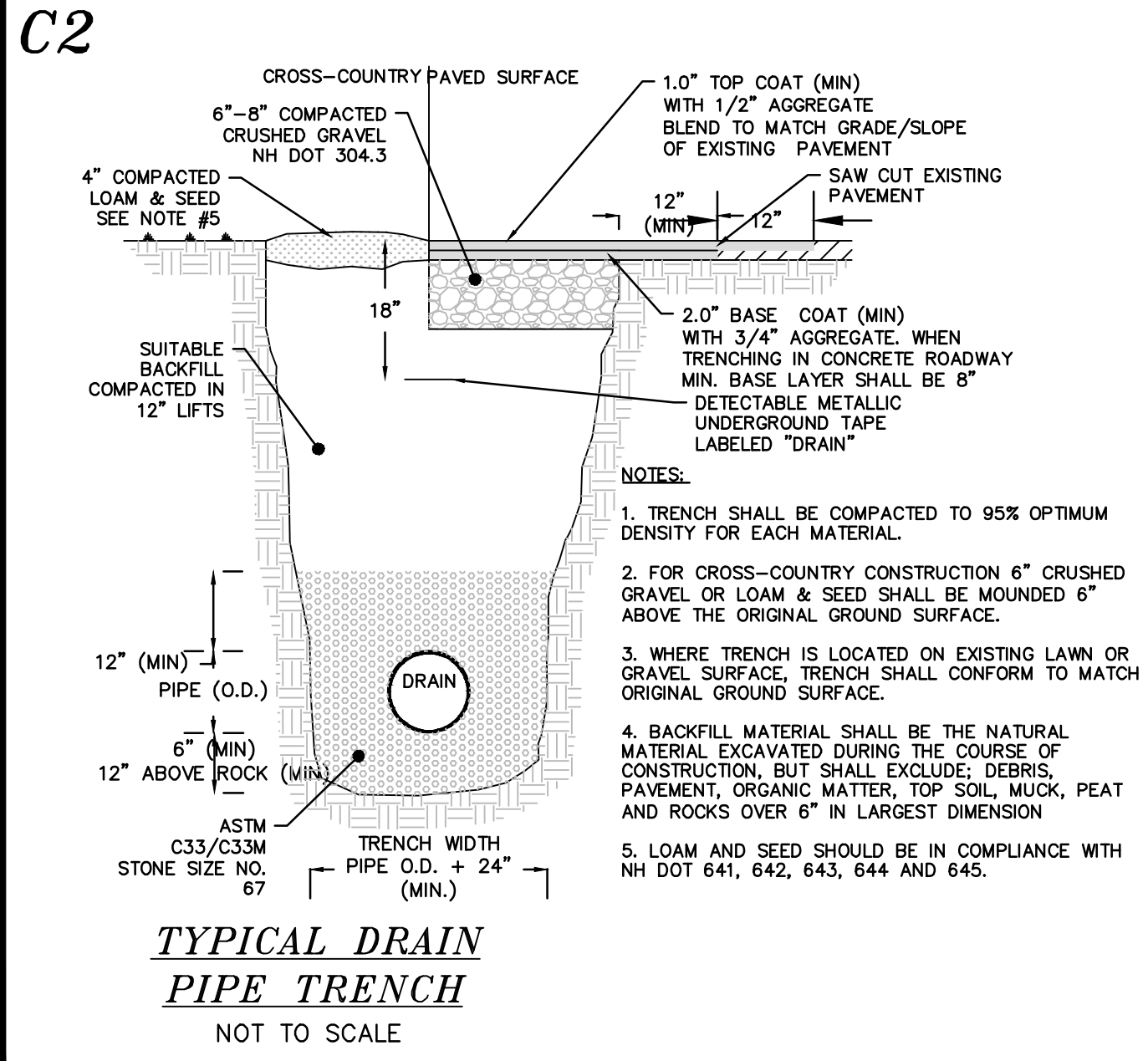
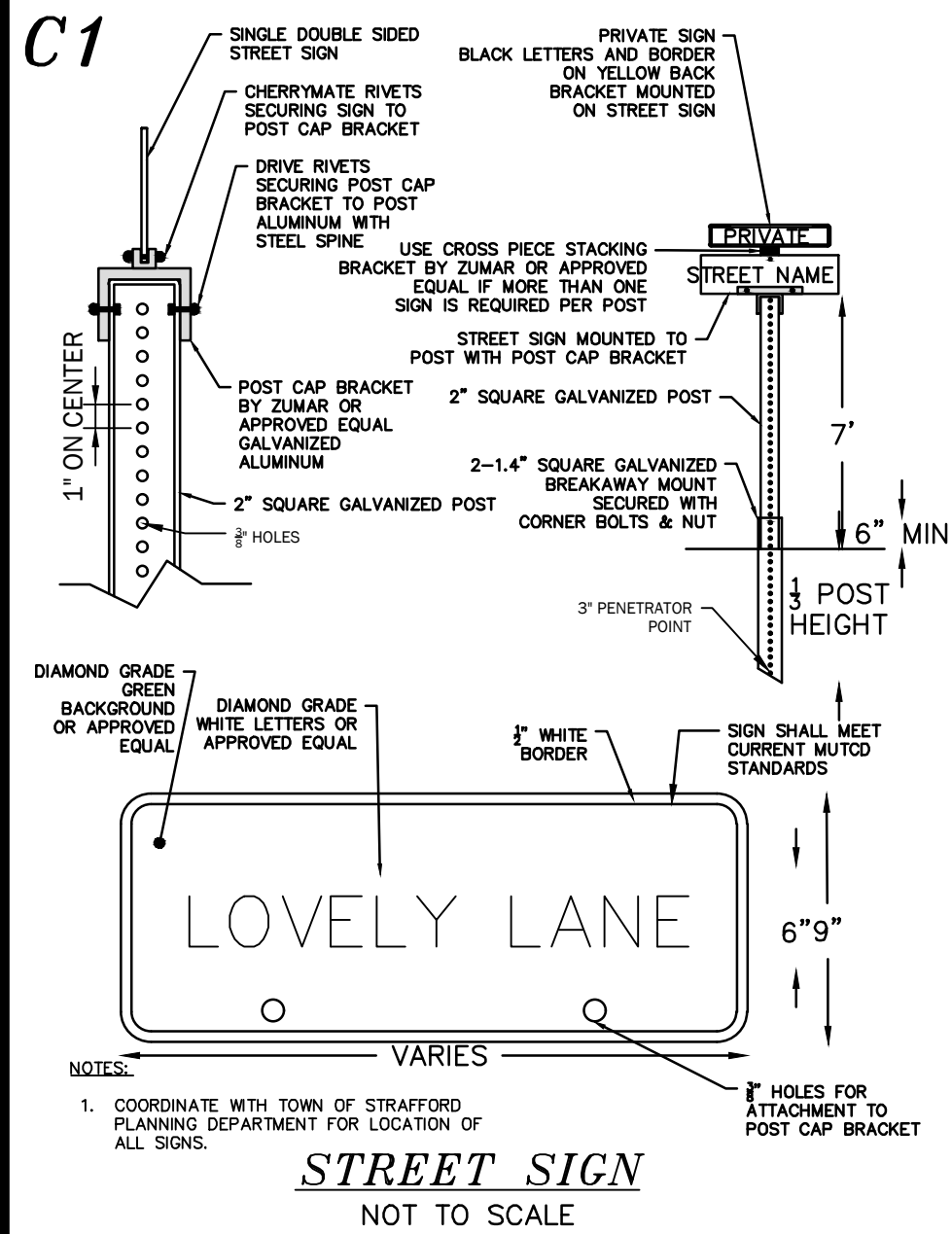
1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BODEGRADEABLE/PHOTODEGRADEABLE "JUTE MATTING" (EXCELSIOR'S CUREX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.
5. ENV-WQ 1505.06 COLD WEATHER SITE STABILIZATION (B)(1) LIMITS ARE OF EXPOSURE TO ONE ACRE OF UNSTABILIZED SOIL WITHOUT OBTAINING A WAIVER AND WINTER CONSTRUCTION PLAN.

E-102

DESIGN REVISION	DATE	REVISION
#1	12-04-25	

EROSION & SEDIMENT CONTROL DETAILS
LAND OF LOVELY REVOCABLE LIVING TRUST DAVID & REBECCA S. LOVELY TRUSTEES 20 BACK CANAAN ROAD STRAFFORD, N.H. TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863 SCALE : AS NOTED DATE : OCTOBER 14, 2025 FILE NO. : DB 2025-024	KENNETH A. BERRY No. 14243 REGISTERED PROFESSIONAL ENGINEER SHEET 19 OF 23
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DESIGN REVISION	DATE	DESCRIPTION
#1	12-04-25	

CONSTRUCTION DETAILS
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS NOTED
DATE : OCTOBER 14, 2025
FILE NO. : DB 2025-024

KENNETH A. BERRY
No. 14243
PROFESSIONAL ENGINEER - CIVIL

SHEET 20 OF 23

C13

CONE GRATE

NOT TO SCALE

NOTE:
MUST BE HAALA INDUSTRIES INC.
OR EQUAL.

Cone Grates Top Mount



CG12TM
Part No. CG12TM

Save Trees

Top Mount Cone Grates are designed to mount on the top of round manhole inlet or outlet structures to keep debris from entering the storm water system. Top mount cone grates are easy to install and allow for at grade manhole installations but can be used in a variety of applications. Grates 96" and larger are made as a two piece, bolt together design.

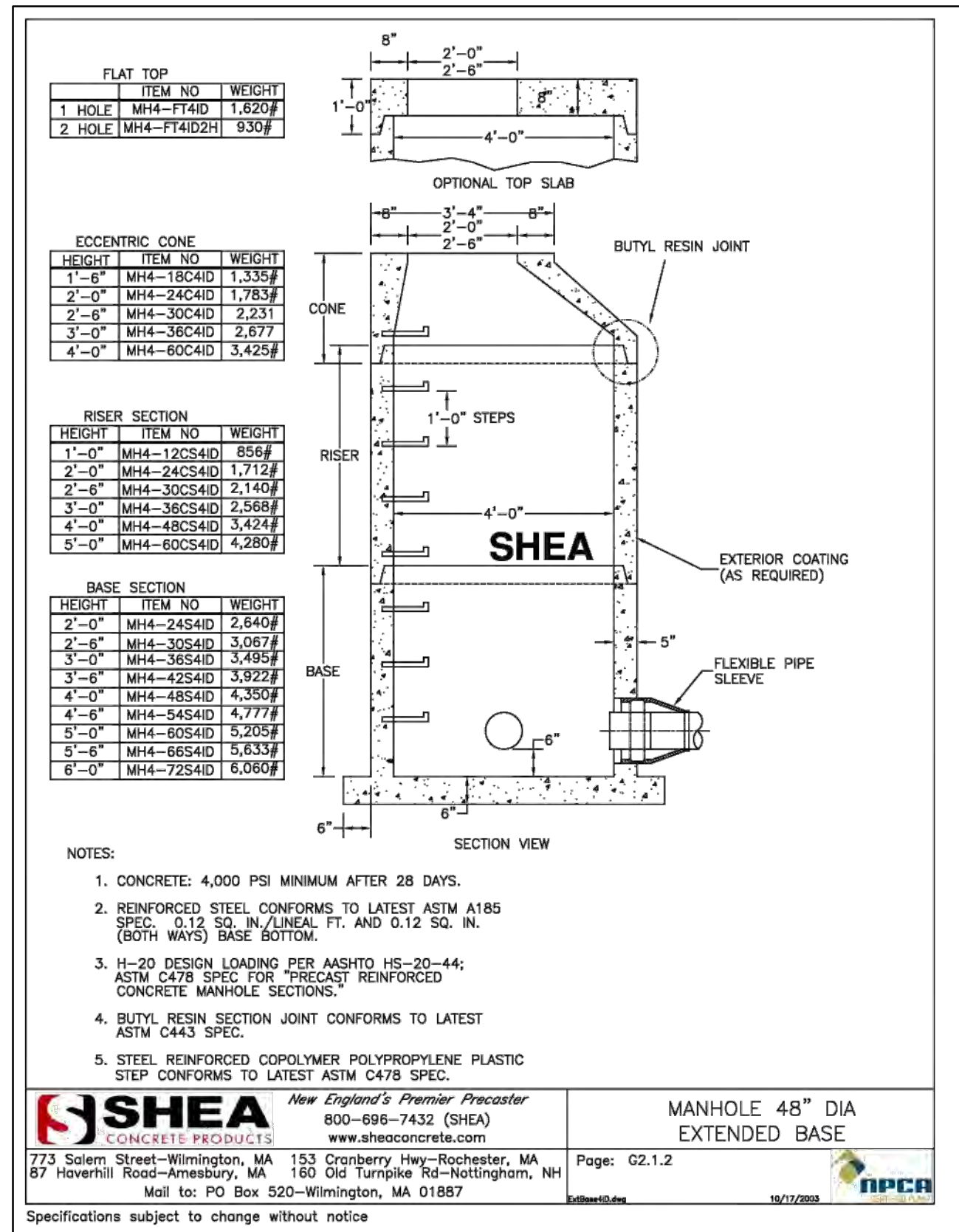
- Plate and bar hybrid design is both clean and cost effective.
- Made from 1/2" plate with 3/4" or 1" round bars depending on grate size.
- Anti vortex plate can be added upon request.
- Hinged and lockable access doors can be added upon request.
- Galvanized steel construction. Can be made from aluminum or stainless steel.

NOTE:

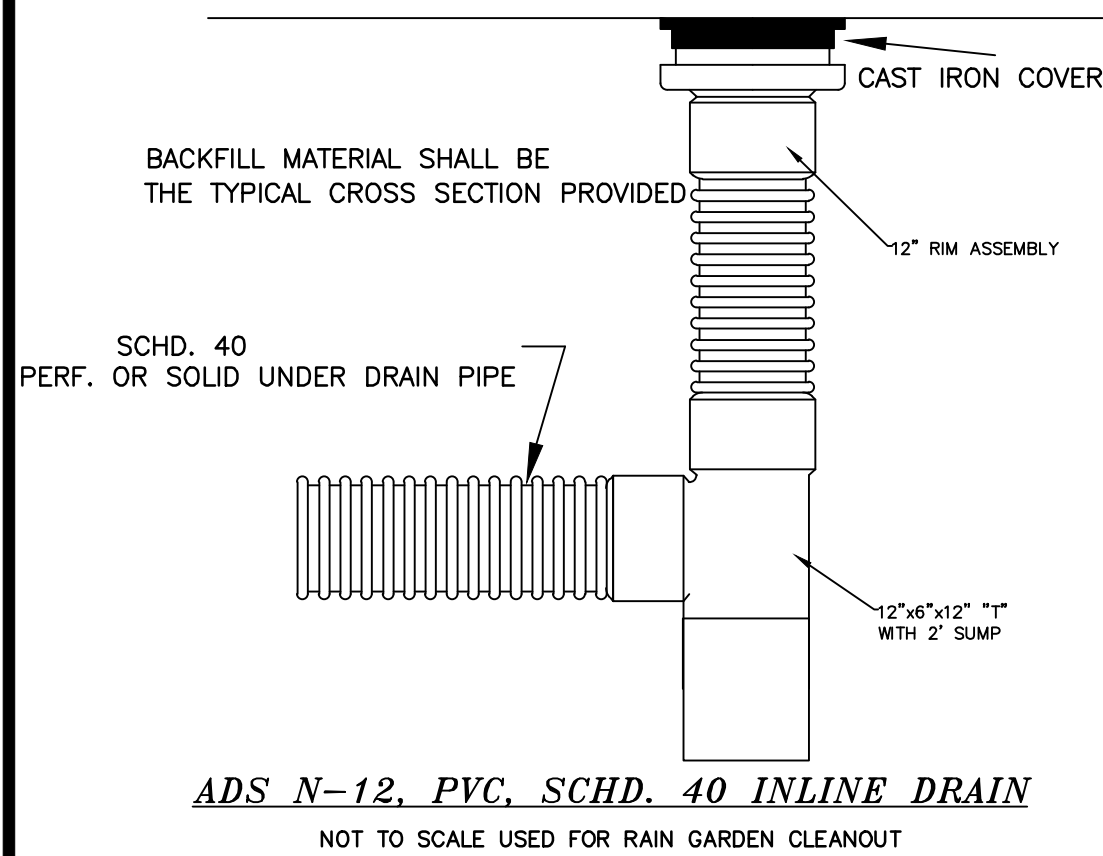
THE ANCHOR NUTS AND BOLTS NEED TO BE INSPECTED ANNUALLY FOR FUNCTIONALITY. THE CONE GRATE MAY NEED TO BE REMOVED TO MAINTAIN THE OFFICE WITHIN THE OUTLET STRUCTURE

C14

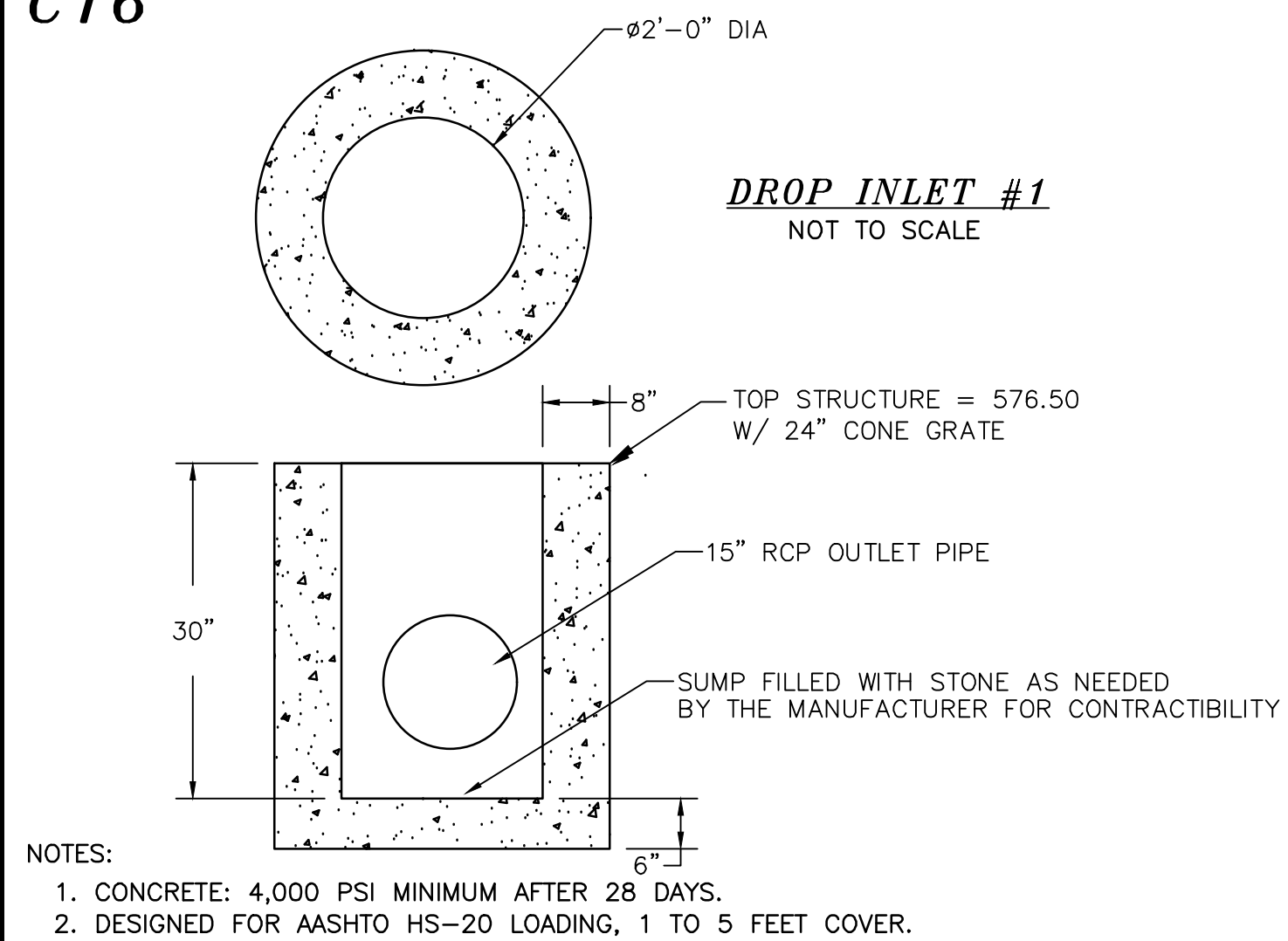
48" MANHOLE ROUND EXTENDED BASE
NOT TO SCALE



C15



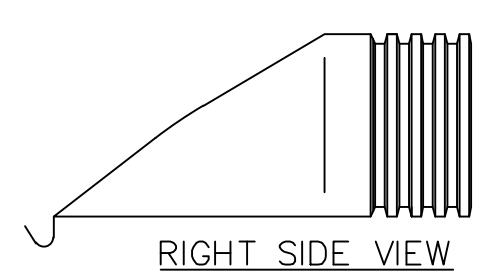
C16



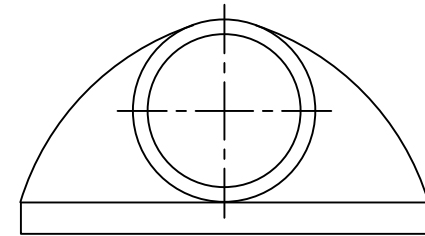
C17

PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15" 375 mm	6.5" 165 mm	10" 254 mm	6.5" 165 mm	25" 635 mm	29" 735 mm
1810-NP	18" 450 mm	7.5" 190 mm	15" 380 mm	6.5" 165 mm	32" 812 mm	35" 890 mm
2410-NP	24" 600 mm	7.5" 190 mm	18" 450 mm	6.5" 165 mm	36" 900 mm	45" 1140 mm
3010-NP	30" 750 mm	10.5" 266 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm
3610-NP	36" 900 mm	10.5" 266 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm

NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24". 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.



RIGHT SIDE VIEW

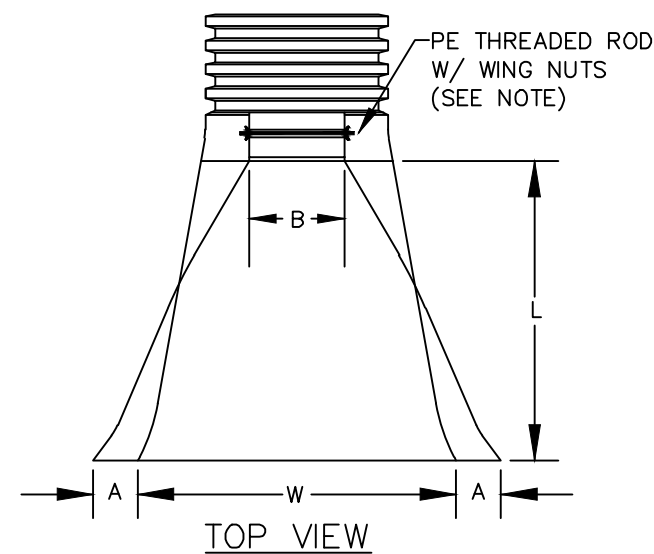


FRONT VIEW

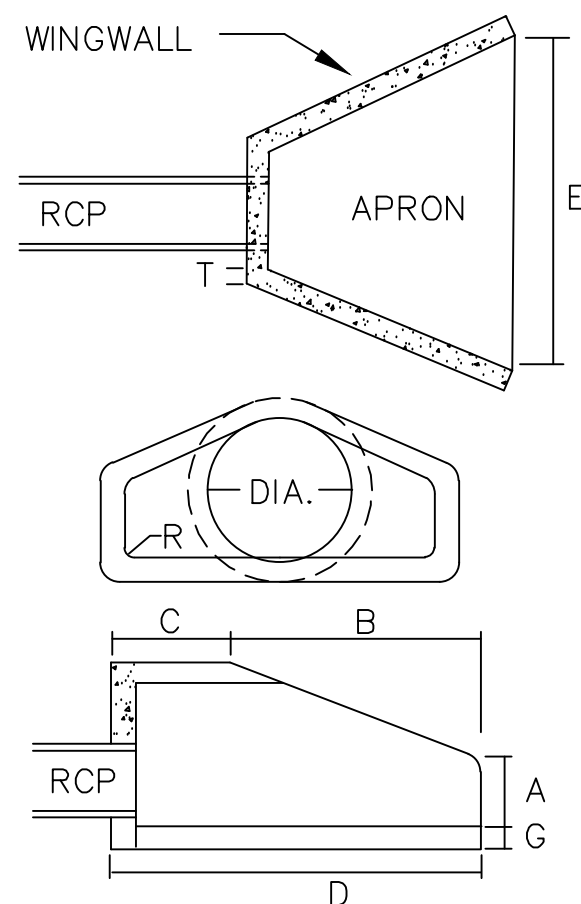
ALL FLARED END SECTIONS WILL BE ANCHORED TO PREVENT FLOATING

ADS N-12 FLARED END SECTIONS

NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)



C18

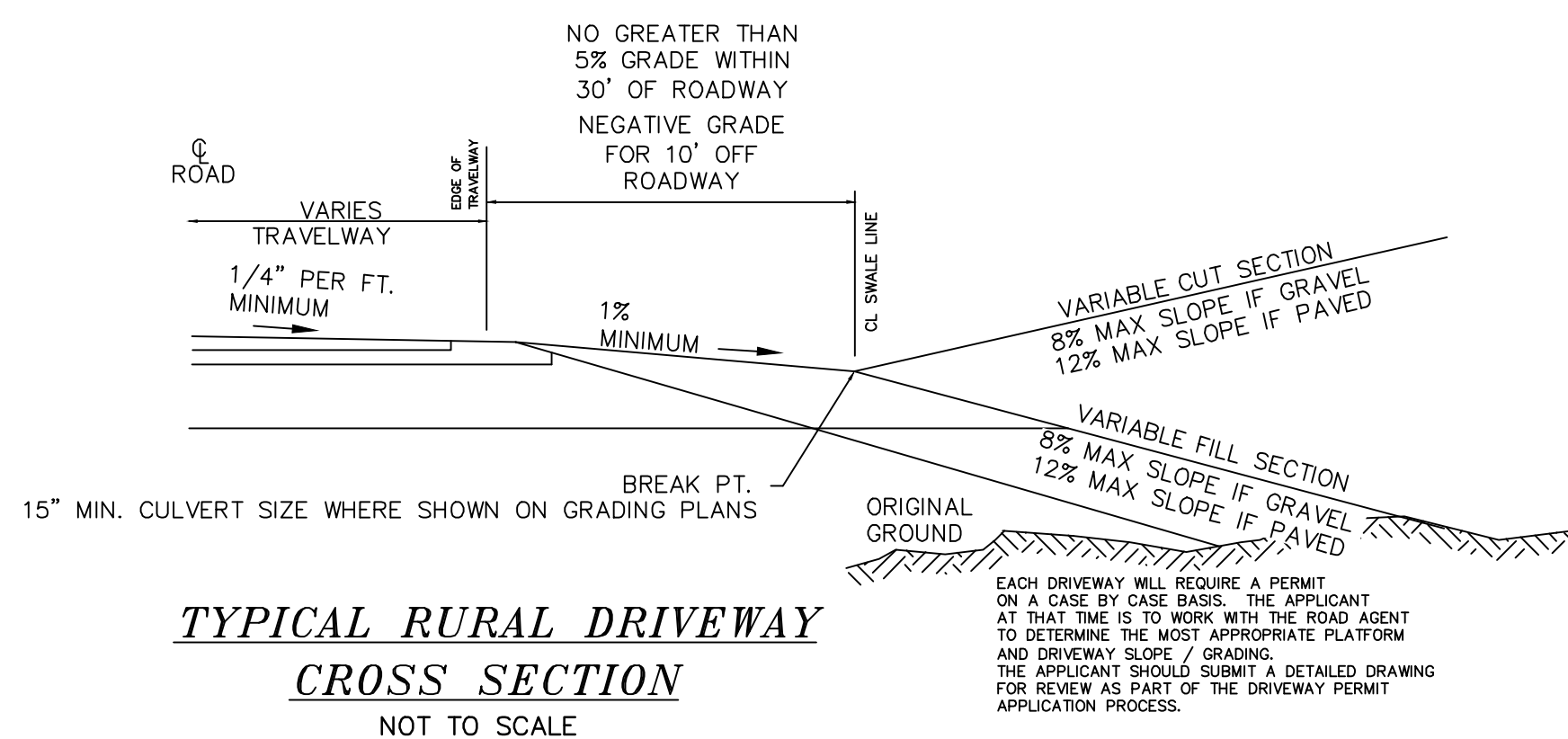


CONCRETE FLARED END SECTION

NOT TO SCALE

DIA.	A	B	C	D	E	G	R	T
12"	4"	24"	48 7/8"	72 7/8"	24"	2"	1 1/2"	2"
15"	6"	27"	46"	73"	30"	2 1/4"	1 1/2"	2 1/4"
18"	9"	27"	46"	73"	36"	2 1/2"	1 1/2"	2 1/2"
24"	9 1/2"	43 1/2"	30"	73 1/2"	48"	3"	1 1/2"	3"
30"	12"	54"	19 3/4"	73 3/4"	60"	3 1/2"	1 1/2"	3 1/2"
36"	15"	63"	34 3/4"	97 3/4"	72"	4"	2"	4"
42"	21"	63"	35"	98"	78"	4 1/2"	2"	4 1/2"
48"	24"	72"	26"	98"	84"	5"	2"	5"

C19



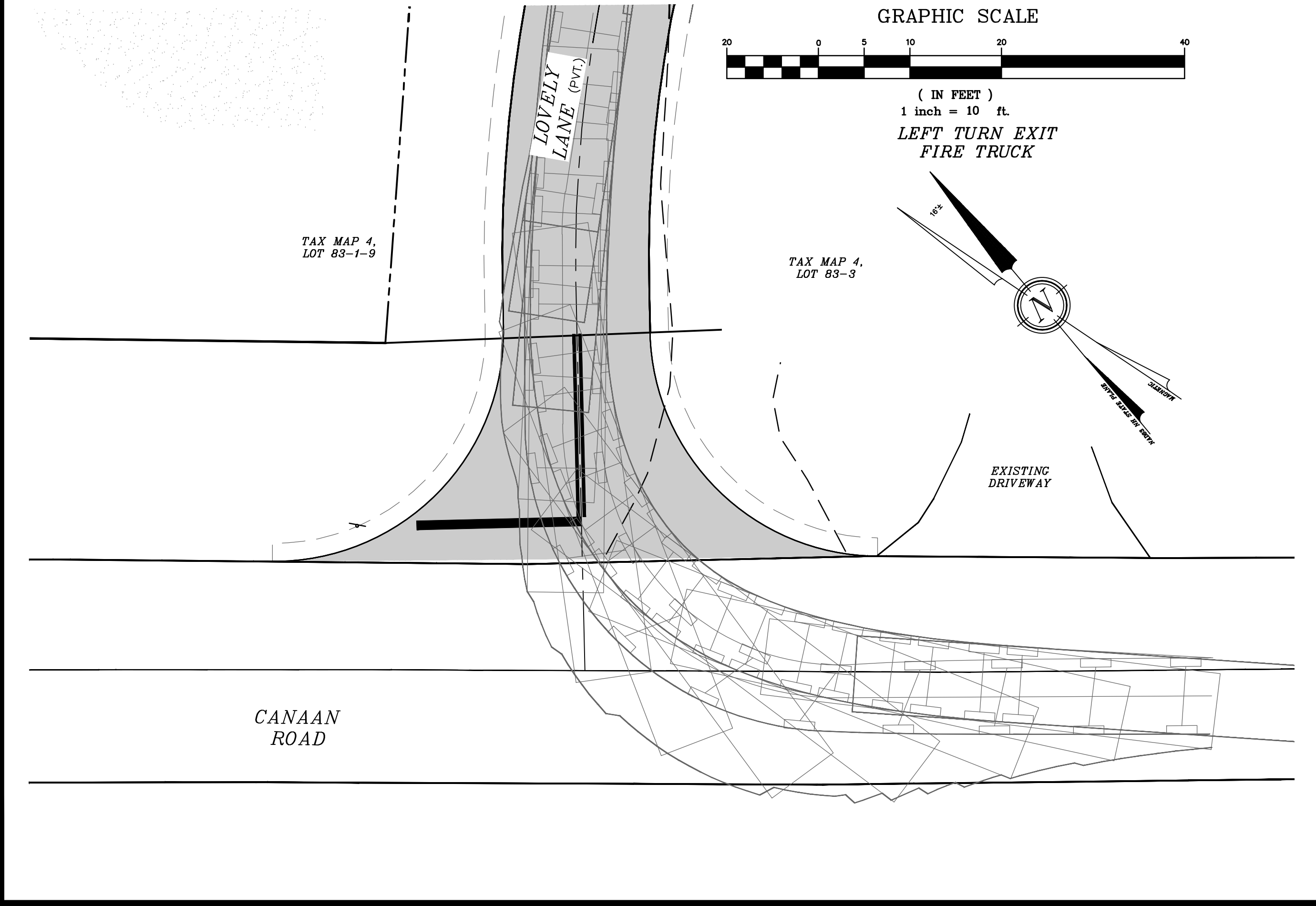
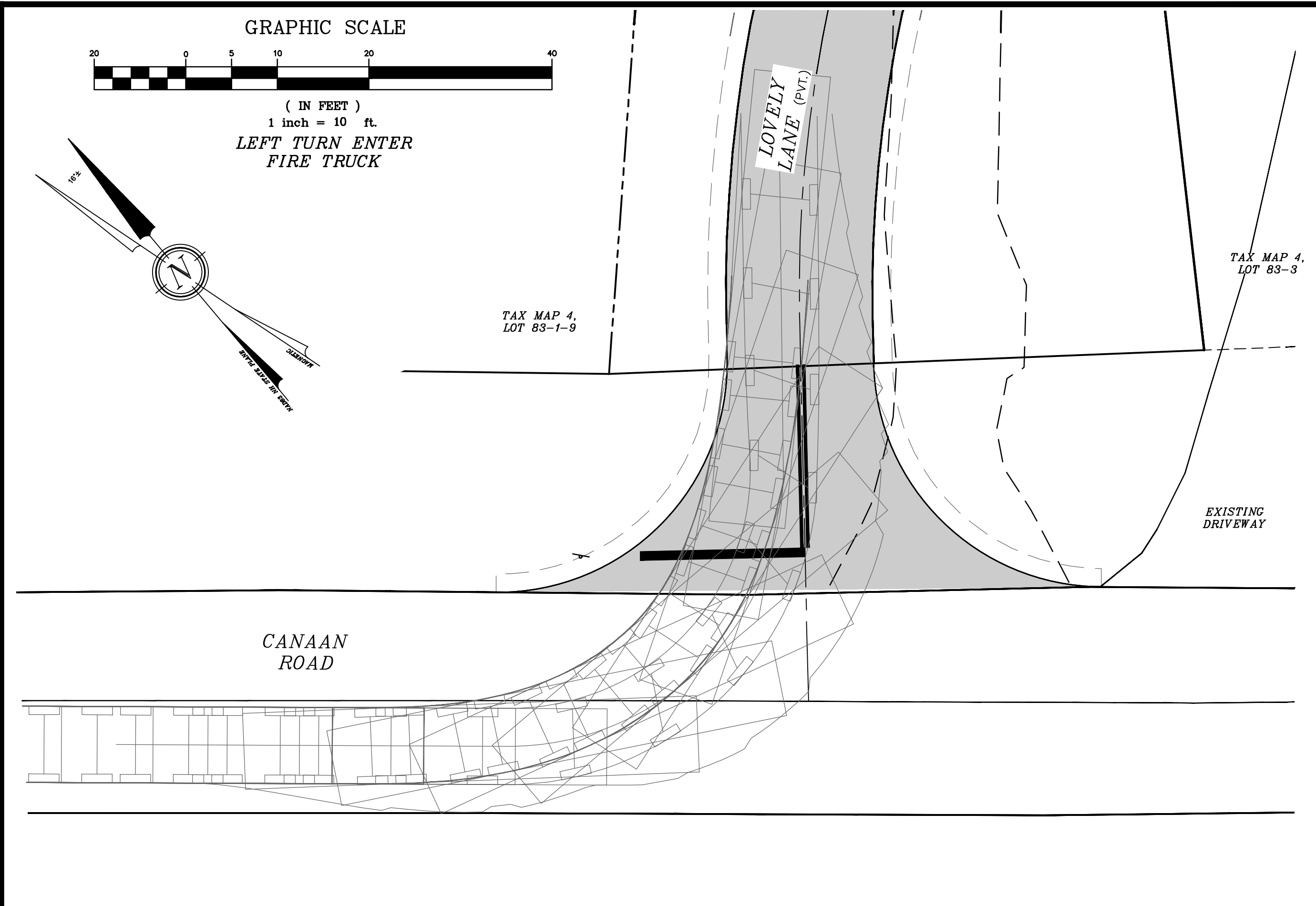
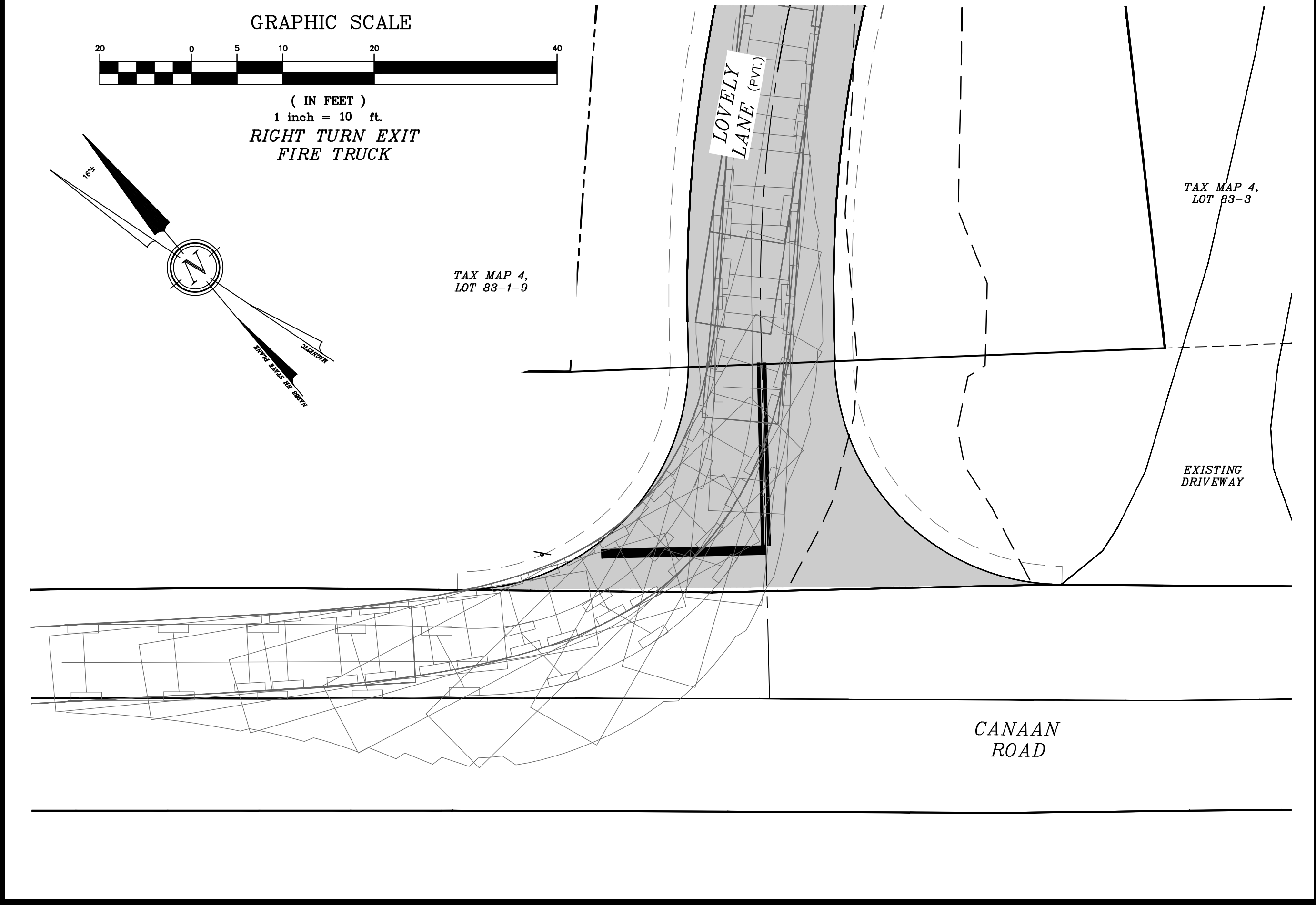
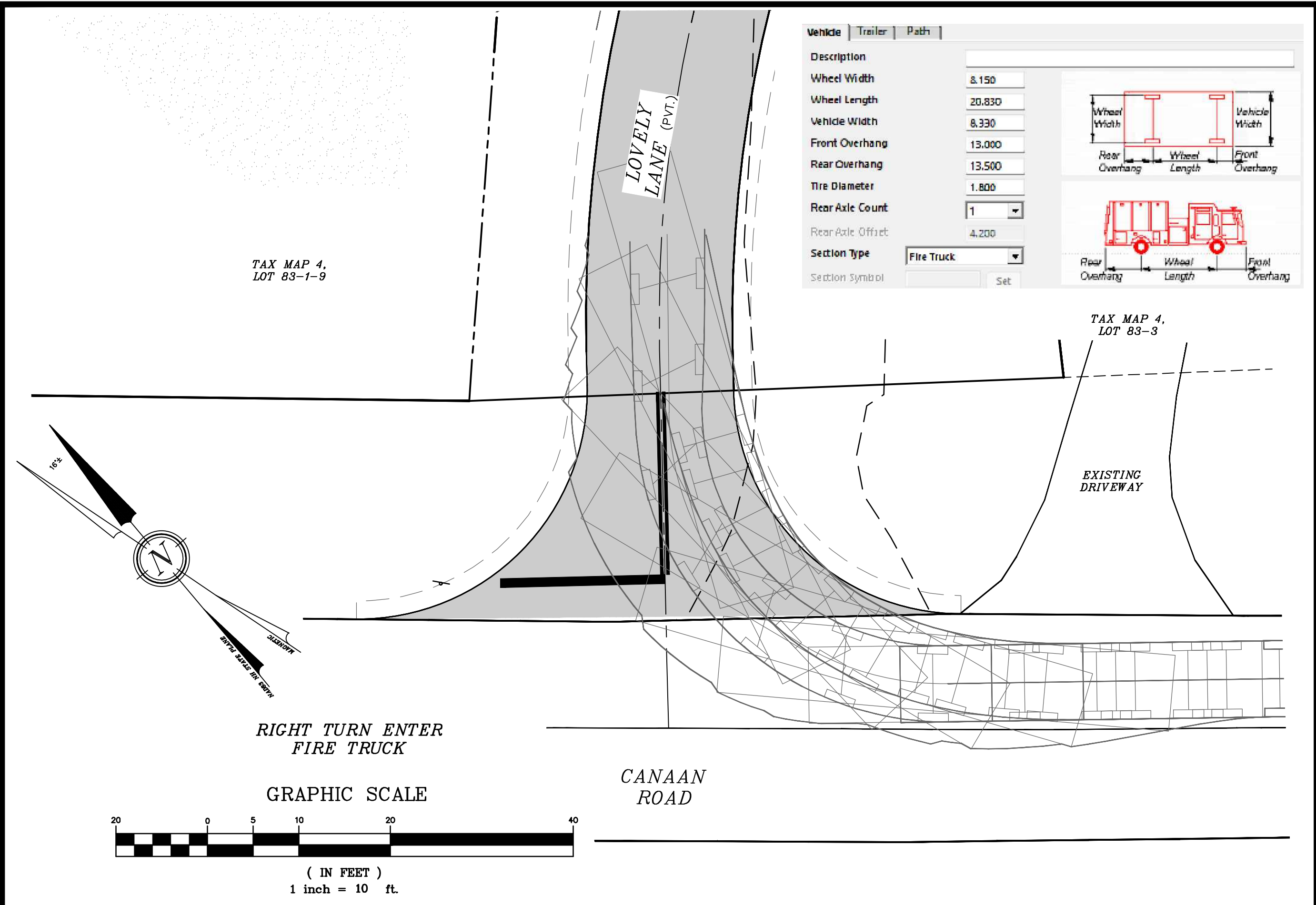
C-102

DESIGN REVISION	DESCRIPTION
#1	12-04-25
REVISION	DATE

CONSTRUCTION DETAILS
LAND OF LOVELY REVOCABLE LIVING TRUST DAVID & REBECCA S. LOVELY TRUSTEES 20 BACK CANAAN ROAD STRAFFORD, N.H. TAX MAP 4, LOT 83-1

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863 SCALE : AS NOTED DATE : OCTOBER 14, 2025 FILE NO. : DB 2025-024
STATE OF NEW HAMPSHIRE KENNETH A. BERRY No. 14243 PROFESSIONAL ENGINEER

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REVISION	DATE	DESIGN REVISION	DESCRIPTION
#1	12-04-25		

FIRE TRUCK ENTRANCE MOVEMENTS

LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, Lot 83-1

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 10 FT.

DATE : OCTOBER 14, 2025

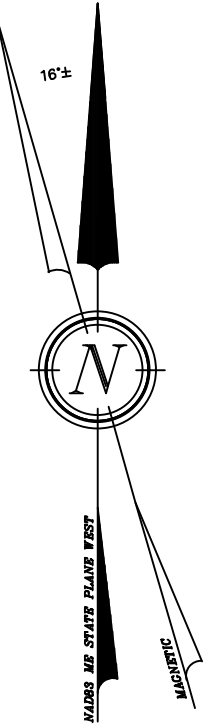
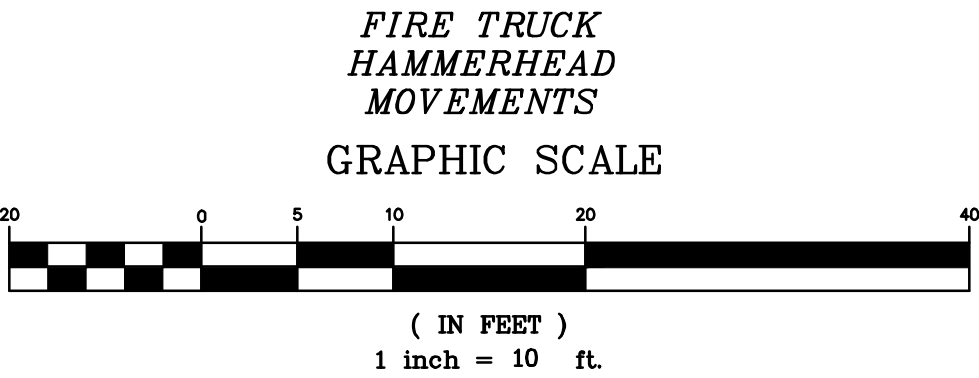
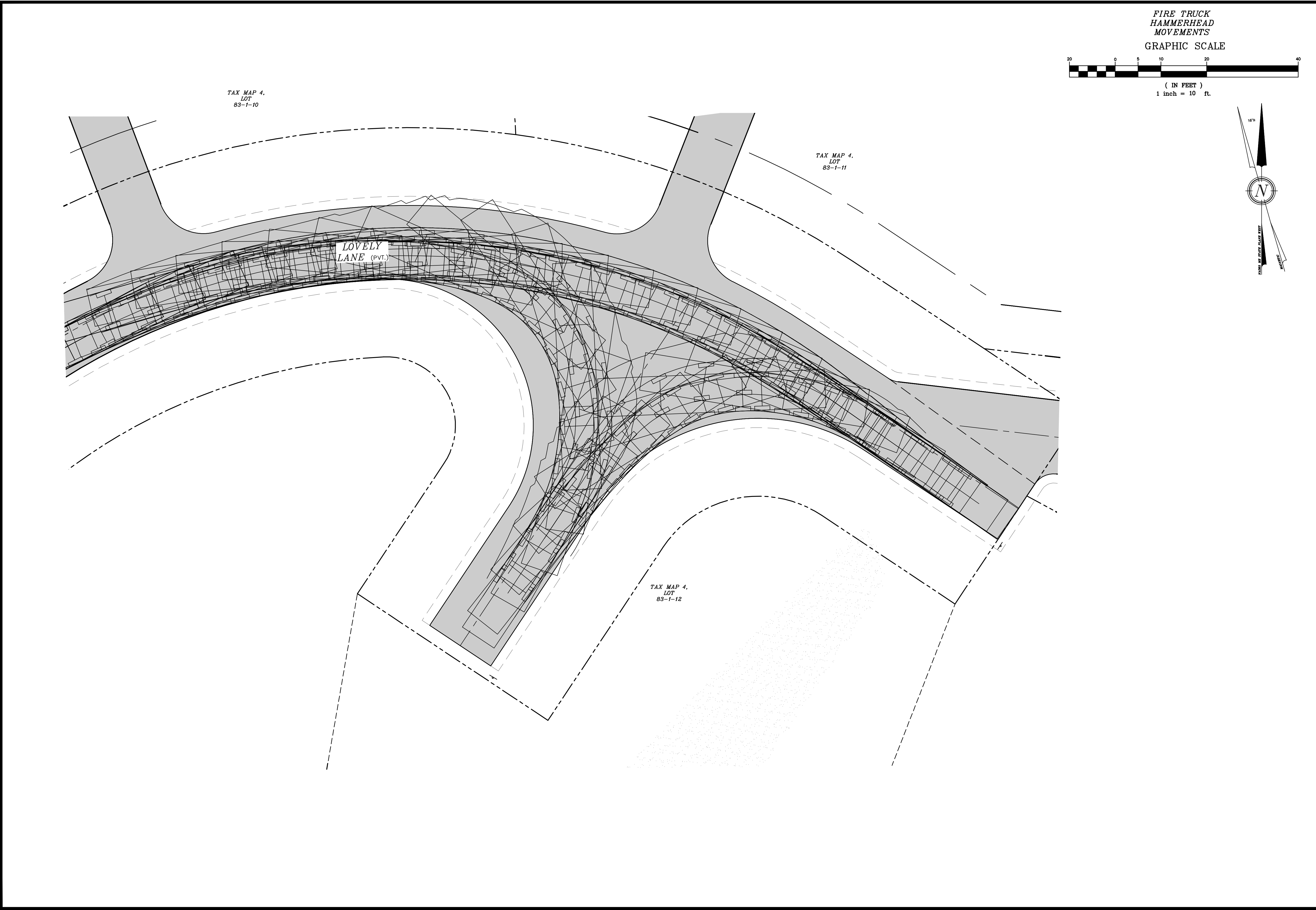
FILE NO. : DB 2025-024

STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

No. 14243

REGISTERED PROFESSIONAL ENGINEER



REVISION	DATE	DESIGN REVISION	DESCRIPTION
#1	12-04-25		

FIRE TRUCK HAMMERHEAD MOVEMENTS
LAND OF
LOVELY REVOCABLE LIVING TRUST
DAVID & REBECCA S. LOVELY TRUSTEES
20 BACK CANAAN ROAD
STRAFFORD, N.H.
TAX MAP 4, Lot 83-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
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SHEET 23 OF 23